



Valencia & Woods FULLERTON

Specific Plan

May 21, 2013

VALENCIA & WOODS SPECIFIC PLAN

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CITY OF FULLERTON PRJ12-00198

APPENDIX

Conceptual Floor Plans
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1.0 INTRODUCTION

1.1 EXECUTIVE SUMMARY

The purpose of the *Valencia & Woods Specific Plan* is to implement The Fullerton Plan vision to increase the choice of affordable and desirable housing options for children, workforce families, and young professionals in Fullerton. The proposed plan includes 44 homes with two different housing types. The eight duplex homes that face Valencia Drive provide a transition between the street and the interior cluster of 36 single-family homes. All the homes include options to change lofts or dens into additional bedrooms providing more options for larger sized families. Refer to *Exhibit 1.2 Illustrative Plan*.

The “Mid-Town Contemporary” design concept, developed by Bryant, Palmer, Soto Architects (BPS), features cottage homes with dormers and high roof pitches, metal roof accents, contemporary fencing, and landscaped patio spaces. Refer to *Exhibit 1.1a & b Conceptual Streetscenes*. The 36 single-family homes include two different floor plans: an approximate 1,570 square foot 3-bedroom, 2.5 bath home, and an approximate 1,860 square foot 3-bedroom, 2.5 bath with loft/optional bedroom and den/optional bedroom. The eight duplex townhomes, include a 3-bedroom/2.5 bath plan with a loft/optional bedroom at approximately 1,550 square feet. All homes will have 2-story massing with articulated front and visible side elevations. Indoor/outdoor living is promoted through french doors, porches and front patios that activate the streetscene. Conceptual floor plans and elevations can be found in the Appendix. A Homeowners Association (HOA) will maintain the front yards and common areas.



Exhibit 1.1a & b Conceptual Streetscenes

1.2 SPECIFIC PLAN DOCUMENT ORGANIZATION

The *Valencia & Woods Specific Plan* defines a vision and establishes standards and requirements for site development. The Specific Plan is arranged into five sections as follows:

Section 1.0 Introduction

This Section provides the purpose and intent of the Specific Plan, development overview, site location, and a summary of the existing conditions affecting the Specific Plan area, including existing City land use and zoning designations, as well as existing and surrounding development area land uses. This section also summarizes the entitlements needed for the project.

Section 2.0 Land Use Planning and Regulatory Provisions

Forming the core of the Specific Plan document, this Section presents the Land Use Plan, serves as the zoning for the development, specifies the permitted and conditionally permitted uses, and provides development standards and requirements.

Section 3.0 Infrastructure

This Section describes the transportation requirements, public services, solid waste disposal, utilities, emergency services, and school provisions.

Section 4.0 Implementation

Provisions for financing/maintenance of improvements, the process for implementation, and procedures for amending this Specific Plan are discussed.

Section 5.0 Consistency with The Fullerton Plan

Section 5.0 discusses how the Specific Plan is consistent with The Fullerton Plan goals and policies.



1.3 PURPOSE AND INTENT

The *Valencia & Woods Specific Plan* will:

- Provide contemporary housing opportunities responsive to the needs of the community including housing for families.
- Reclaim the currently underutilized site and transform it into a vibrant living environment.
- Create a cohesive enclave through leading edge architectural and landscape design.
- Provide a desirable community where people will want to live.
- Implement a small lot development program.
- Stimulate revitalization efforts in nearby underutilized properties.
- Promote indoor/outdoor living.
- Use water-wise landscape principles.

In February of 2012, the City Council authorized the Community Development Department to accept an application for Specific Plan District zoning for this site as long as it implements the guidance provided by The Fullerton Plan.

Implementation of the *Valencia & Woods Specific Plan* provides the parameters for a desirable, compact, small lot development. The Plan coordinates the land use, intensity, scale and aesthetic characteristics of development with the goals and policies of The Fullerton Plan.

1.4 SITE LOCATION

The *Valencia & Woods Specific Plan* area is located in the City of Fullerton in northern Orange County, California. Fullerton is located 25 miles southeast of downtown Los Angeles and is bordered by the cities of La Habra and Brea on the north, La Mirada on the northwest, Buena Park on the west, Anaheim on the south, and Placentia on the east. The City consists of 22.3 square miles of land and has an estimated population of 137,481 in 2012 (California State Department of Finance). Fullerton is crossed by three major freeways. State Route 91 runs east-to-west down the length of the City south of Orangethorpe Avenue. It intersects with the Interstate 5, the Santa Ana Freeway, in the west near Magnolia Avenue and with State Route 57, the Orange Freeway, in the east near State College Boulevard. Refer to **Figure 1.3 Regional Context** and **Figure 1.4 City Context** for the general location of the project.

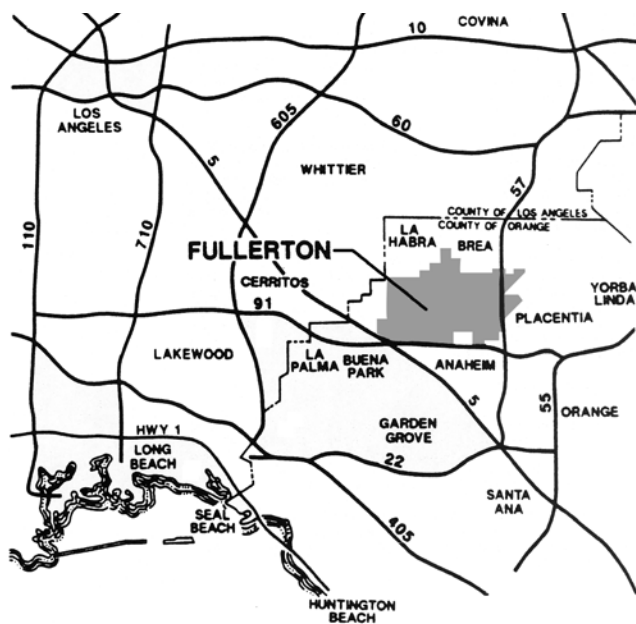


Figure 1.3 Regional Context

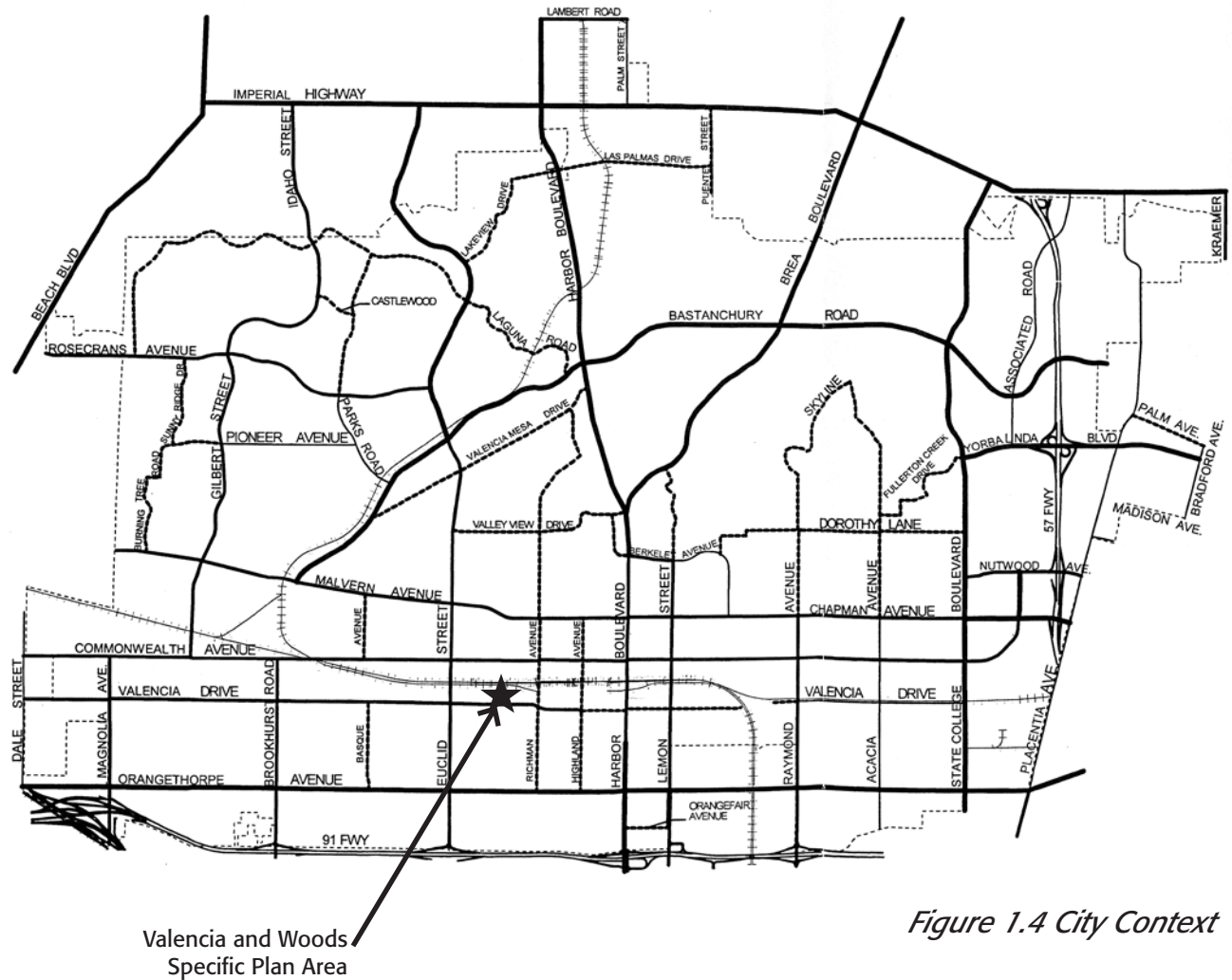


Figure 1.4 City Context

The Specific Plan area is located within the City of Fullerton as shown on *Figure 1.5 Vicinity Map*. The area is currently improved with an empty industrial building and vacant parking lot. The Development Plan will transform the currently underutilized development site into a residential community with 36 single-family homes and eight duplex townhomes with a "Mid-Town Contemporary" design concept. All the homes will be oriented to West Valencia Drive or to the new internal Drives (refer to *Figure 1.2 Illustrative Site Plan*).

1.5 SURROUNDING LAND USES

Figure 1.5 Vicinity Map, shows the 3.5-acre development site within its local context at 655 West Valencia Drive on the north side of West Valencia Drive. The site is approximately one mile from the Fullerton Transportation Center (Santa Fe Depot) and Downtown Fullerton and is 1.5 miles north of the 91 Freeway.

Directly to the north of the development site is the Union Pacific right-of-way and the proposed future Union Pacific Right-of-Way backbone trail.

To the south, across West Valencia Drive behind a block wall, are single-family homes focused internally within their own neighborhood.

To the east, are manufacturing uses zoned M-G along the north side of West Valencia east to Richman Avenue.

To the west, is Independence Park and the Janet Evans Swim Complex zoned public-land (P-L). Within walking distance is Euclid Avenue where Orange County Transportation Authority (OCTA) bus stops are located.

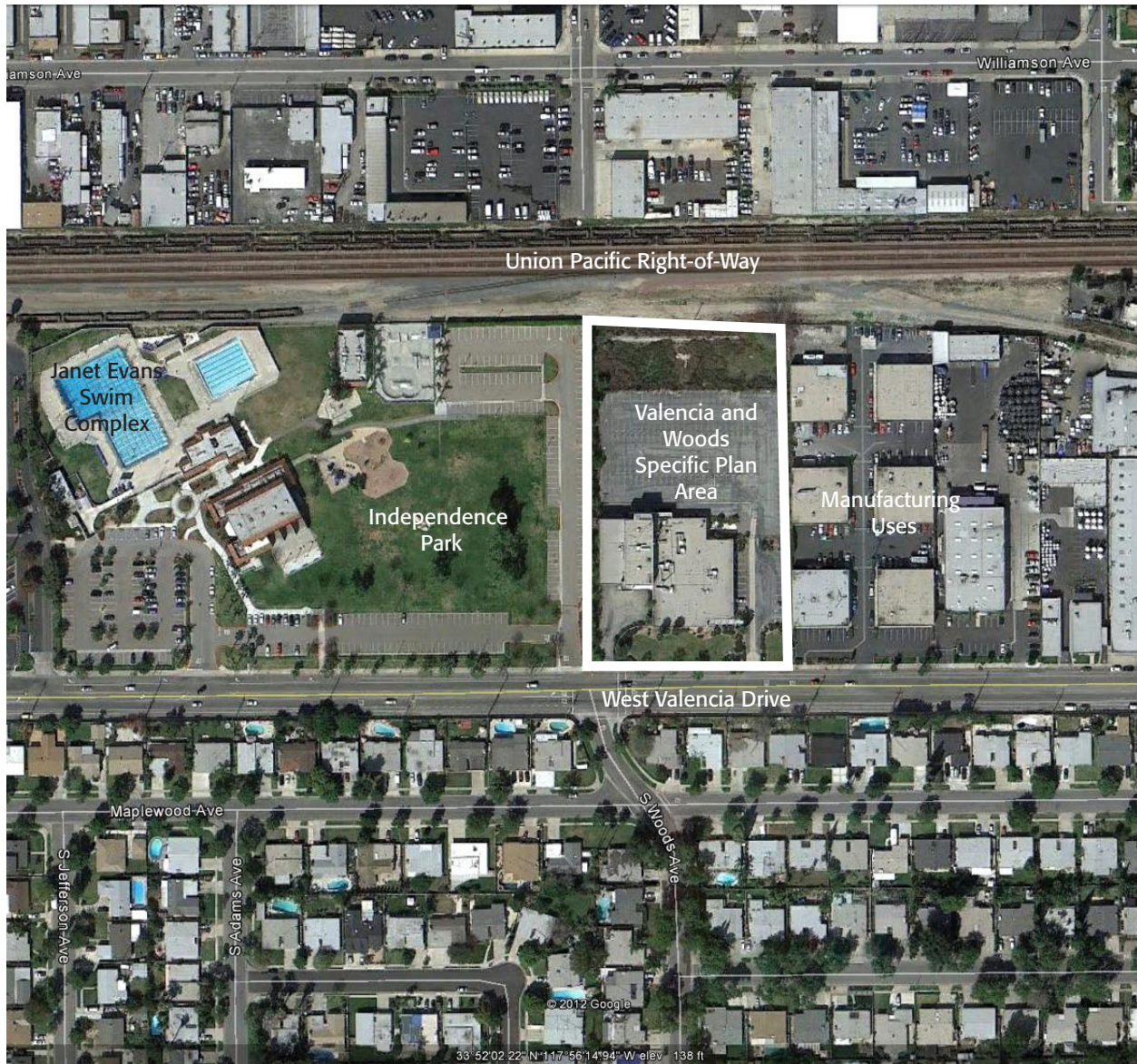


Figure 1.5 Vicinity Map

1.6 THE FULLERTON PLAN

The Fullerton Plan serves as Fullerton's General Plan pursuant to State law, but goes beyond State's General Plan Guidelines. The Fullerton Plan is the City's fundamental governance document that guides decision-making, actions programs, and crafting of more specific policies. It embodies community values and sets general direction for achieving the Fullerton Vision. The Fullerton Plan views Fullerton as a built place, a local economy, a community of people, and a part of the natural environment. Part II of The Fullerton Plan is organized into four Master Elements:

- The Fullerton Built Environment
- The Fullerton Economy
- The Fullerton Community
- The Fullerton Natural Environment.

Each Master Element contains a combination of goals and policies to guide development within the City. Section of 5.0 describes how this Specific Plan is consistent with The Fullerton Plan applicable goals and policies.

The development site is currently zoned Industrial. The proposal includes a request for a General Plan revision to Low/Medium Density Residential that allows a Specific Plan District (SPD) zone for compact, small lot, residential development. ***Refer to Figure 1.6a The Fullerton Plan: Focus Areas and 1.6b The Fullerton Plan: Community Development Areas.***

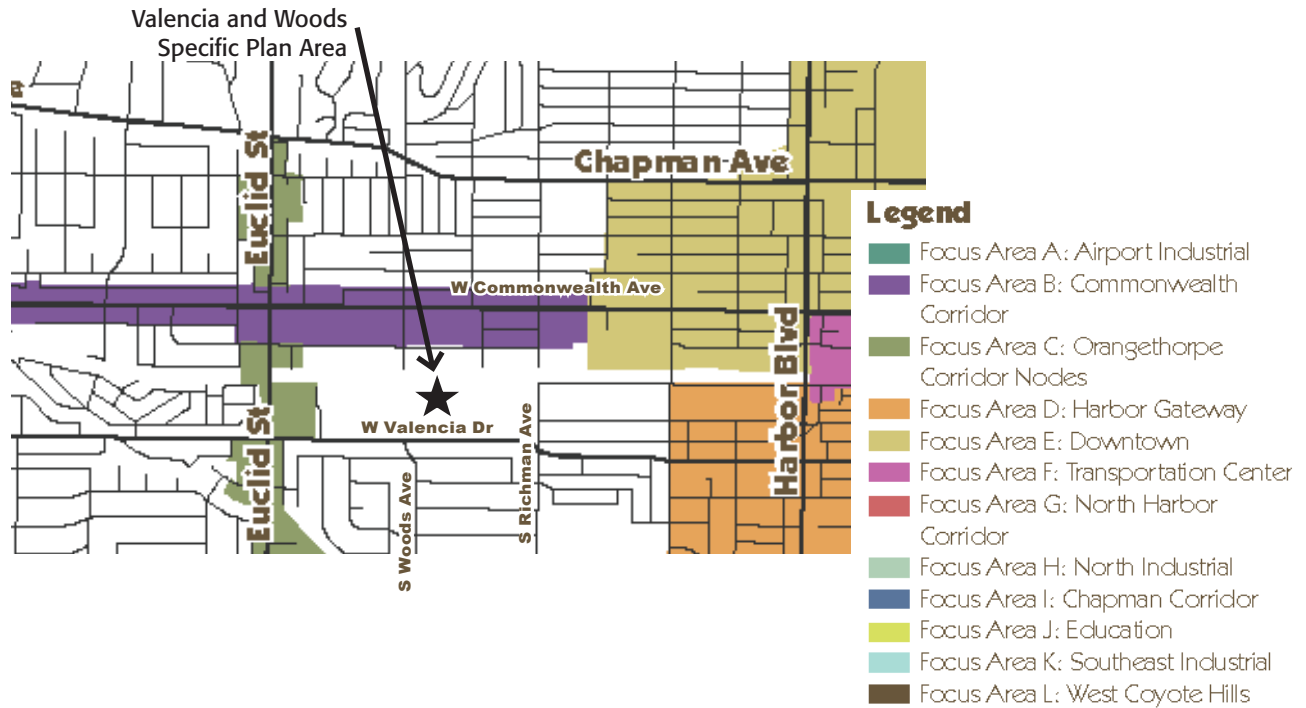


Figure 1.6a The Fullerton Plan: Focus Areas

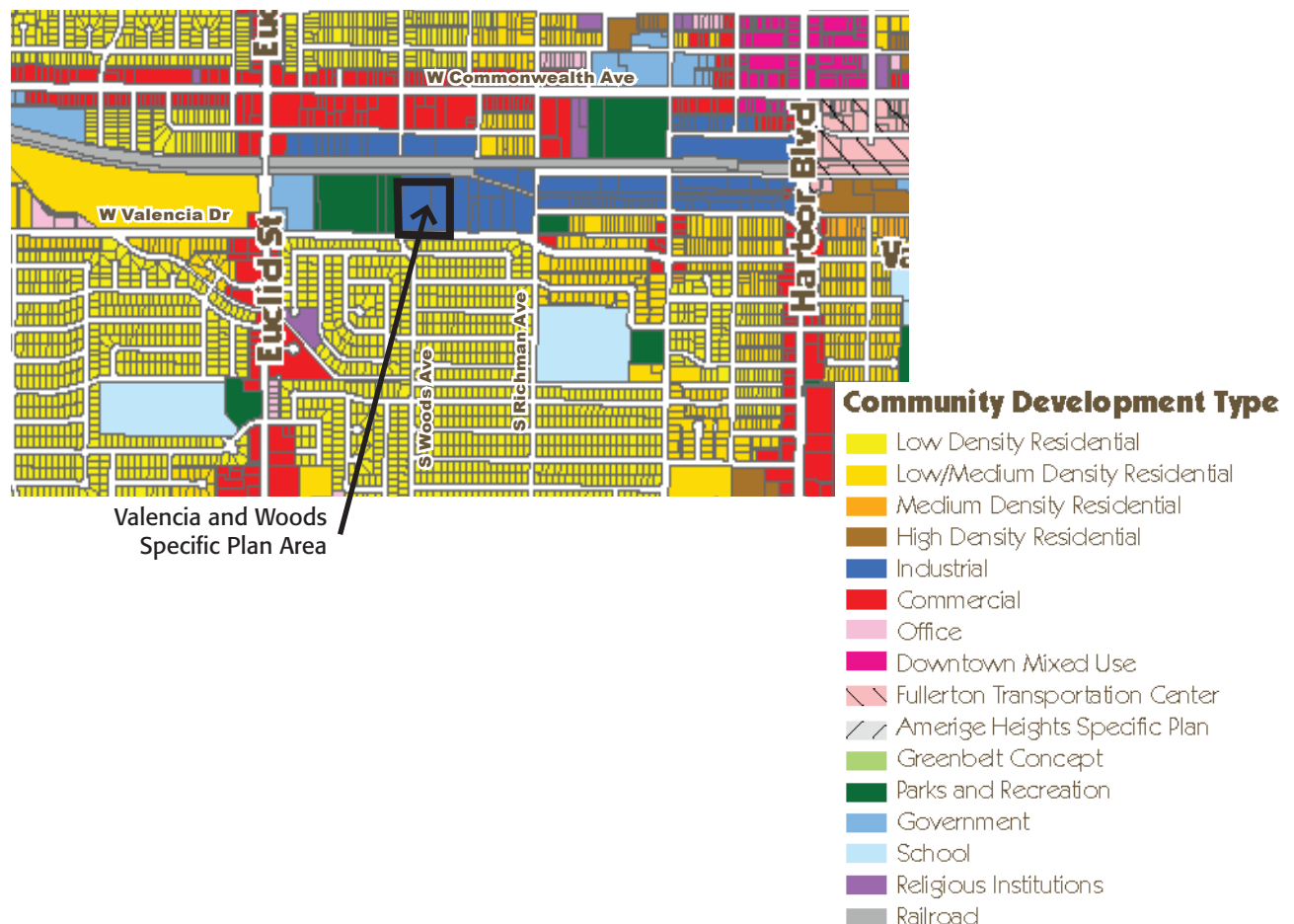


Figure 1.6b The Fullerton Plan: Community Development Areas

1.7 ZONING ORDINANCE

The City of Fullerton Zoning Ordinance is the primary tool for implementing the goals and policies of The Fullerton Plan. For this reason, the Zoning Map must be consistent with The Fullerton Plan. The Zoning Ordinance provides regulations for the logical and orderly development of the City.

The site is currently zoned MG (General Manufacturing). A zone change from the existing MG zoning designation to Specific Plan District (SPD) will be required in order to implement the development. The SPD designation will allow the proposed development at a density of up to 15 dwelling units per acre with specific development criteria. As previously mentioned, the City Council authorized the Community Development Department to accept an application for SPD for this site. Refer to *Figure 1.7 Existing Zoning Designations*.

The Specific Plan includes new zoning standards for the site, comprised of site specific permitted uses and development standards. This zone allows for the development of a residential cottage community and establishes a Plan that defines that development. Where conflicts exist between the *Valencia & Woods Specific Plan* and the Zoning Code, this Specific Plan will take precedence.

1.8 AUTHORITY FOR SPECIFIC PLANS

The *Valencia & Woods Specific Plan* has been prepared and established under the authority granted to the City of Fullerton in accordance with the requirements of the California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 and 65457. The California Government Code authorizes cities to adopt specific plans by resolution or ordinance. A public hearing is required, after which the specific plan must be adopted by the Fullerton City Council for final approval.

The *Valencia & Woods Specific Plan* is intended to be a regulatory document that serves as the zoning regulation for the property. Some elements of the development program will be enforced through conditions, covenants and restrictions (CC&R's) established in conjunction with the subdivision map for the property.


















RESIDENTIAL ZONES	
 R-1 ONE-FAMILY RESIDENTIAL*	 R-3 LIMITED DENSITY, MULTIPLE FAMILY RESIDENTIAL
 R-1P ONE-FAMILY RESIDENTIAL PRESERVATION*	 R-3R RESTRICTED (SINGLE STORY) MULTIPLE RESIDENTIAL
 PRD PLANNED RESIDENTIAL DEVELOPMENT	 R-3P LIMITED DENSITY, MULTIPLE RESIDENTIAL PRESERVATION
 R-2 TWO-FAMILY RESIDENTIAL	 R-4 MEDIUM DENSITY, MULTIPLE RESIDENTIAL
 R-2P TWO-FAMILY RESIDENTIAL PRESERVATION	 R-5 MAXIMUM DENSITY, MULTIPLE RESIDENTIAL
 R-G GARDEN-TYPE MULTIPLE RESIDENTIAL	 MOBILE HOME PARK
COMMERCIAL ZONES	
 O-P OFFICE PROFESSIONAL	 C-3 CENTRAL BUSINESS DISTRICT COMMERCIAL
 C-G COMMERCIAL GREENBELT	 C-H COMMERCIAL, HIGHWAY
 C-1 LIMITED COMMERCIAL	 C-M COMMERCIAL, MANUFACTURING
 C-2 GENERAL COMMERCIAL	
INDUSTRIAL ZONES	
 M-P MANUFACTURING PARK*	 M-G MANUFACTURING, GENERAL*
OTHER ZONES	
 P-L PUBLIC LAND	 O-G OIL GAS
 O-S OPEN SPACE	 SPD SPECIFIC PLAN DISTRICT
SPECIAL DISTRICTS AND AREAS	
 ZONING BOUNDARY	 HOMEOWNERS ASSOCIATION AREA (HOA)
 PARKING DISTRICT BOUNDARY (PDB)	 RECREATIONAL TRAIL
 COMMUNITY IMPROVEMENT DISTRICT (CID)	 FUEL MODIFICATION ZONE OR HABITAT EASEMENT REQUIRED
 POTENTIAL LANDMARK DISTRICT (PLD)	 AN OVERLAY OF WHITE DOTS INDICATES THAT GROUND FLOOR UNITS MUST BE RETAIL DUE TO SEISMIC LOADS
 CENTRAL BUSINESS DISTRICT (CBD)	

Figure 1.7 Existing Zoning Designations

1.9 MAJOR SITE PLAN

The development is required to obtain a Site Plan approval that is being processed concurrently with the Specific Plan.

1.10 TENTATIVE TRACT MAP

Tentative Tract Map 17463 for condominium purposes has been prepared for 36 single-family homes and eight duplex townhomes. Every home will have its own exclusive use area with a private yard area(s) separated by fences/walls. All common areas outside of the private open spaces will be maintained by the HOA including the private Drives, front yard, lighting and landscape.

2.11 CEQA

The Fullerton Plan Environmental Impact Report (EIR) allows subsequent discretionary projects, such as specific plan adoption, that are consistent with the General Plan to "tier" from the program EIR. The Fullerton Plan EIR includes a monitoring and reporting program for assessing and ensuring compliance with any required mitigation measures applied to all proposed development.

Pursuant to State and local CEQA guidelines, the City of Fullerton prepared an initial study for the plan and has determined that development pursuant to the Specific Plan could result in environmental impacts, and therefore, required additional environmental review including a focused traffic study, noise study and air quality study. The initial study identifies specific mitigation measures that would mitigate any potential impacts resulting from development implementation to below a level of significance. Consequently, a Mitigated Negative Declaration has been prepared for the Specific Plan.

2.0 LAND USE PLANNING & REGULATORY PROVISIONS

2.1 THE DEVELOPMENT PLAN

The development plan envisions two housing types within a small lot cottage community consisting of 36 single-family detached homes and eight attached duplex townhomes. A Tentative Map for condominium purposes has been prepared. Every home will have its own private areas separated by fences/walls. The homes will be sold at market rate prices catering to workforce families and young professionals.

The Plan represents a positive change from the site's underutilized development. The site plan, shown in ***Figure 2.1 Conceptual Site Plan***, provides the overall vision and guide for the ultimate development of the site. The design approach takes advantage of the site's location and integrates it into the built environment. The Plan proposes new residential homes with easy access to Independence Park. The cohesive enclave expresses creative architectural character integrated with detailed landscape elements. The variable streetscene includes individualized attributes on each home. Porches and private patios activate the streetscene and provide indoor/outdoor living opportunities. A layered landscape concept provides additional resident privacy while providing greater landscape opportunities. A Central Green is provided at the entry that will be accented with a pavilion. Enhanced architectural elements will be provided for the attached homes that face West Valencia Drive and on the four southern single-family homes that are visible at the West Valencia Drive entry. ***Table 1: Proposed Land Use Summary*** presents a statistical summary of the planned development.

Anything not addressed in this Specific Plan will revert to the provision of the Zoning Code for the R-1/R-2 zone as applicable.

Table 1: Proposed Land Use Summary

Land Use Description	Total Dwelling Units	Minimum Unit Square Footage	Bedrooms	Baths	Coverage	Gross Acres	Gross Density
Single Family							
Plan 1 Single Family Residence or (SFR)	18	1,500	3	2.5			
Plan 2 Single Family Residence or (SFR)	18	1,840	3 + Loft/Opt. Bedroom + Den/Opt. Bedroom	2.5			
Sub Total	36						
Duplex Townhomes							
Duplex	8	1,500	3 + Loft/Opt. Bedroom	2.5			
Totals	44				0.62	3.5	12.57 homes/acre

There are two "lot" sizes for the detached single-family homes. One "lot" size is typically 38 feet x 60 feet (2,280 square feet). The other "lot" size is typically 42 feet x 60 feet (2,520 square feet).

2.1.2 Circulation

Vehicles will access the community from West Valencia Drive through private Drives that also lead to the individual garages (refer to *Figure 2.1 Conceptual Site Plan*). The ground level pedestrian entries face either West Valencia Drive or the private internal Drives. The entries are accessible through a courtyard or front porch. All the wet and dry utilities are located within the private Drives.

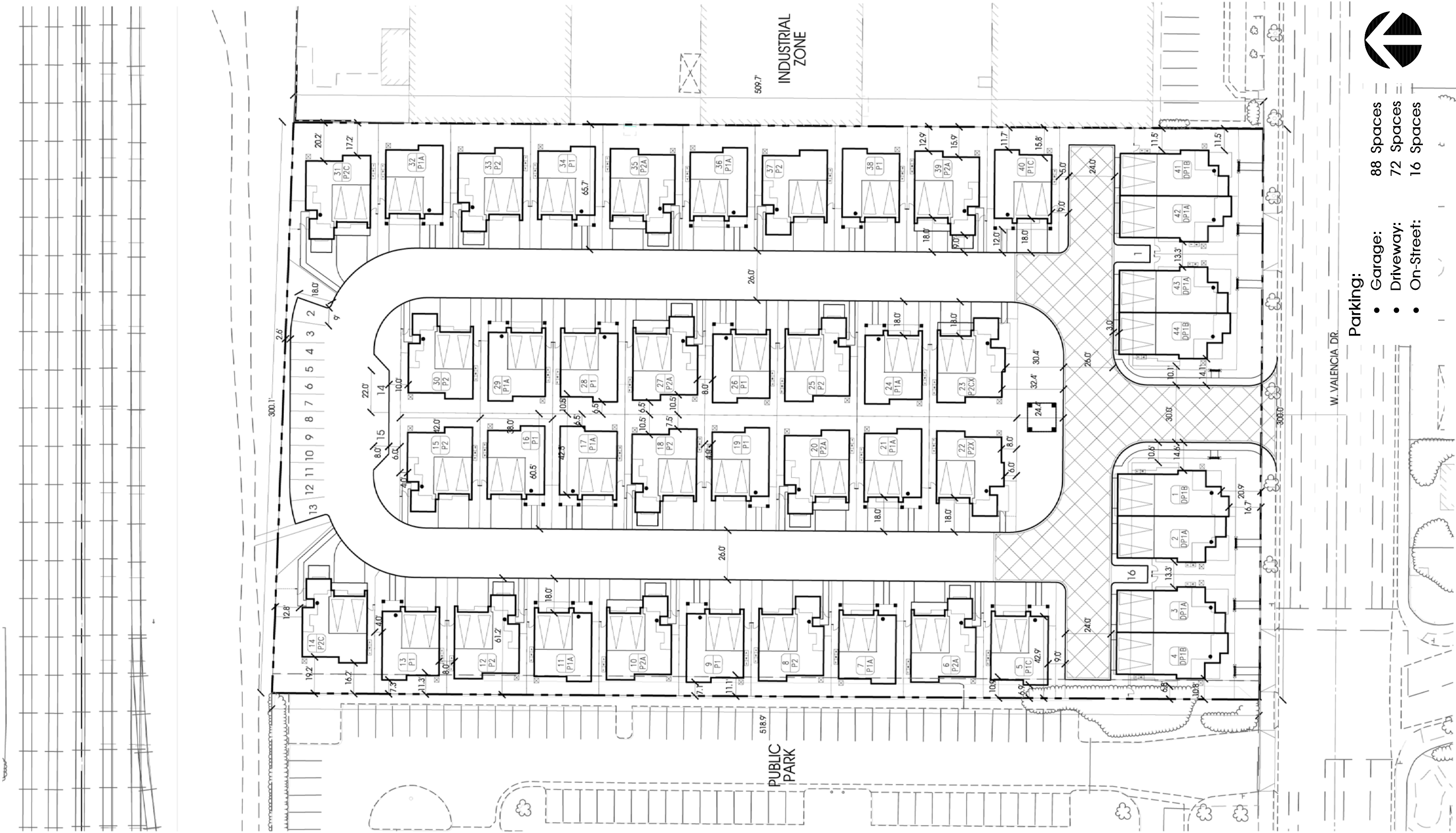


Exhibit 2.1 Conceptual Site Plan

Notes:

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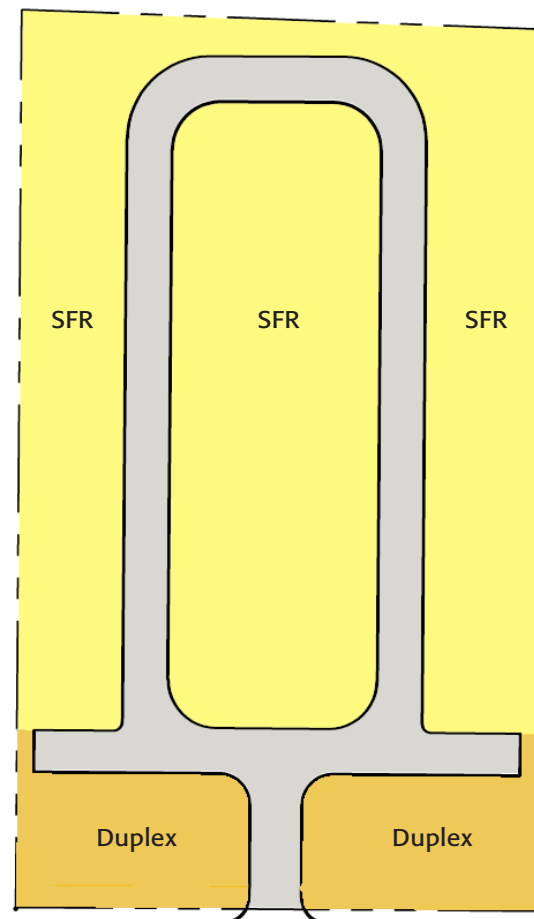
2.2 LAND USE REGULATIONS

This Specific Plan incorporates two residential housing types located as shown on *Figure 2.2 Land Use Plan*. At build-out, the maximum density will be up to 15 units per acre. In order to accommodate this compact cottage development, specific site planning and design strategies have been developed for this concept.

2.2.1 Permitted Uses

The following uses are permitted:

- Single-family dwellings (SFR)
- Two-family dwellings (Duplex)
- Accessory Buildings and Structures such as patio covers, sheds, or fireplaces in the rear yard only that comply with Section 15.17.030.I of the City of Fullerton Municipal Code
- Domestic Animals that comply with Section 15.17.030.J.1a.(iii.), 15.17.030.J.1b, and 15.17.030.J.2 of the City of Fullerton Municipal Code
- Garage Sales that comply with Section 15.17.030.L of the City of Fullerton Municipal Code
- Home Based Businesses that comply with Section 15.17.030.M of the City of Fullerton Municipal Code
- Renting of Rooms that comply with Section 15.17.030.O of the City of Fullerton Municipal Code



2.2 Land Use Plan

2.2.2 Attached Building Regulations

The attached duplex townhomes are located along the West Valencia Drive frontage. The duplex townhomes are Drive-loaded with the front door facing West Valencia Drive. Refer to **Table 2 Attached Development Regulations** for development requirements.

Special Design Considerations

A front patio to provide semi-private outdoor living is located in front of each duplex townhome facing West Valencia Drive. A community wall and gates up to five feet in height are permitted in the project front setback with an entry arbor up to eight feet high. The community wall will provide privacy for the front patio areas. No building additions, porches or covered patios may be added in the front or side yard after the development is completed.

The front yard setback shall have a layered landscape scheme consisting of trees, shrubs and low groundcover. Signage for the community will be located on the community wall on both sides of the entry Drive. This wall will be located outside required sight lines at the entry and setback at least 12 feet from the front property line. The height of the logo and individual letters will not exceed 24 inches in height. The community wall will be a combination of solid concrete block, open blocks and galvanized tube frame with a chrome grill. Small individual pedestrian entry gates will complete the cottage feel, increase privacy and separate the semi-private patios from the street.

Mechanical equipment such as air conditioning condensers will be located in the private side yard area. The condensers shall comply with the noise requirements of FMC Section 15.90. Space will also be provided in the side yard for two 64-gallon trash and recycling containers.

Refer to **Figure 2.3 Conceptual Attached Home Landscape Plan** for landscape details.

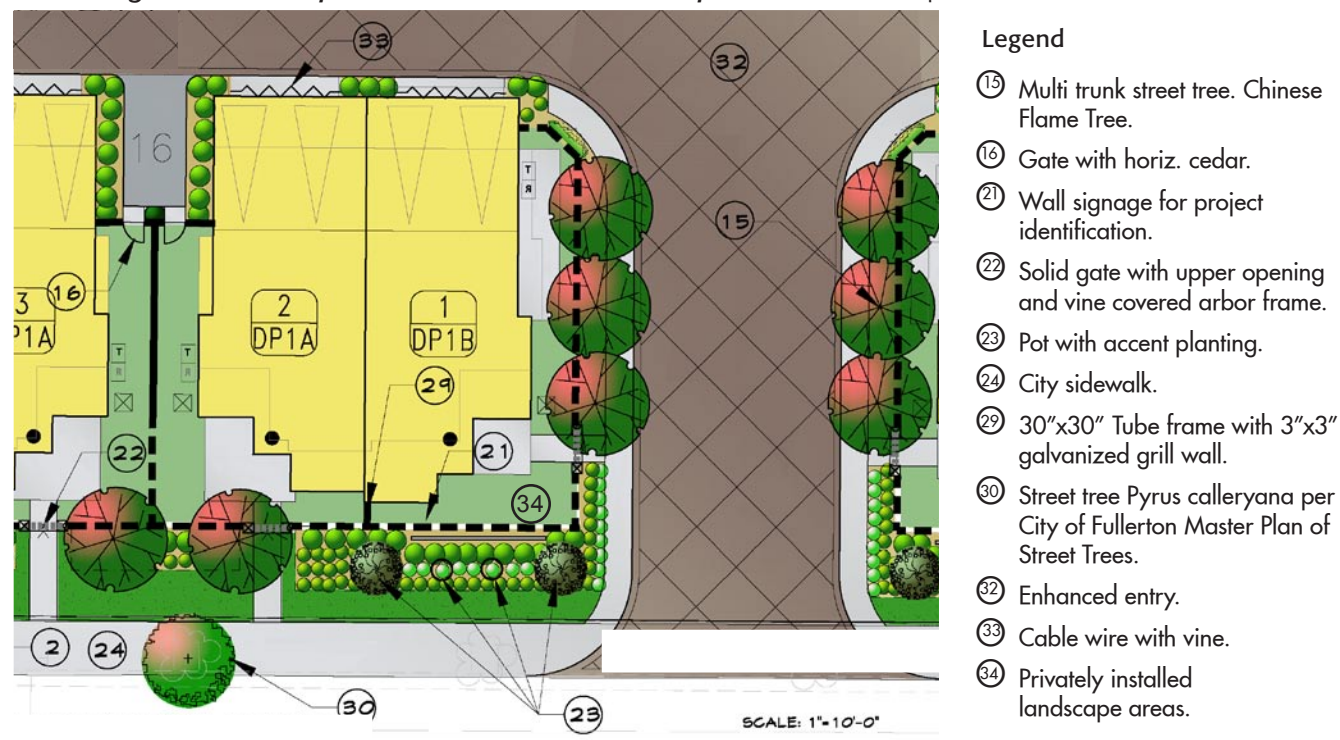


Exhibit 2.3 Conceptual Attached Home Landscape Plan

Table 2: Attached Development Regulations

Setbacks¹	Minimums
Front ²	
Living 1st Floor (West Valencia Drive)	16 feet
Living 2nd Floor (West Valencia Drive)	24 feet
Covered Porch	16 feet
Community Wall (West Valencia Drive)	12 feet
Side	
At Site Boundary (1st & 2nd Floor Living)	10 feet
At Site Boundary (Porch)	6 feet
To Entry Drive curb face (1st & 2nd Floor Living)	14 feet
To Entry Drive curb face (Covered Porch)	7 feet
Between Buildings (1st & 2nd) Floor ³	13 feet
Rear	
Garages/2nd floor ³	3 feet from the Drive curb face
Heights	Maximums
Buildings (Measured Finished Grade to Ridgeline) ⁴	2 stories, 35 feet
Wall/Fence (at West Valencia Drive) ⁵	Up to 5 feet high with an entry arbor up to 8 feet high
Open Space	Minimum
Private Open Space Per Home	100 square feet minimum with a minimum dimension of 5 feet
Parking	Minimum
See Section 2.2.4	
¹ Eaves are permitted to encroach in all setback areas up to 24 inches. ² Steps can encroach up to five feet from the front property line. ³ The area between buildings shall be utilized for landscaping, walking paths, and other ancillary facilities such as air conditioning units. Four feet of the setback, generally located along the walking path shall remain clear from obstructions to allow for emergency access. The side yard setback shall remain constant for all building stories. ⁴ Satellite antennae and unit venting components permitted to exceed the height limitation by a maximum of 3 feet. ⁵ Wall/fence heights measured from the finished grade and/or the top of the retaining wall if necessary. Refer to Section A-A on <i>Exhibit 3.2b Preliminary Grading and Storm Drainage Plan</i> .	

2.2.3 Detached Unit Regulations

The detached single-family homes are located north of the attached duplex townhomes along internal Drives. The single-family homes are plotted in a conventional configuration with garages and entries accessed from Drive C and all homes having private rear yards. Refer to **Table 3 Detached Unit Development Regulations** for development requirements.

Special Design Considerations

The front yard setback shall have a layered landscape scheme consisting of trees, shrubs and low groundcover. A patio wall up to 18 inches in height will be located in front of some the homes to enhance and promote the semi-private outdoor living. The patio wall will be a combination of layered hedges, solid concrete block, and open concrete blocks. Optional individual pedestrian gates may accentuate the cottage feel if desired by the homeowner. No building additions, porches, or covered patios may be added in the front yard after the development is completed.

Space will be provided for three trash and recycling containers (one 64-gallon each for trash, recycling, and green waste) in the private side yard. Air conditioning condensers shall only be located in the side or rear yard. The condensers shall comply with the noise requirements of FMC Section 15.90.

Refer to **Figure 2.4 Conceptual Detached Home Landscape Site Plan** for landscape details.

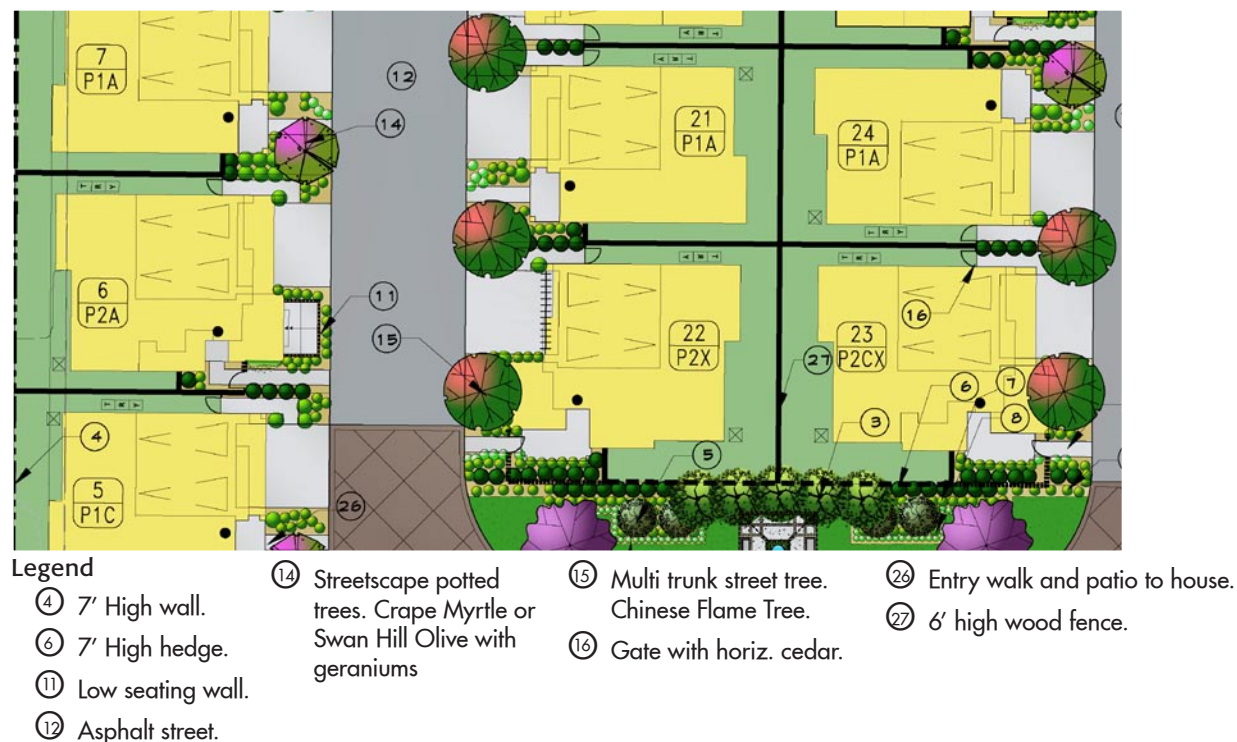


Exhibit 2.4 Conceptual Detached Home Landscape Plan

Table 3: Detached Unit Development Regulations

Setbacks¹	Minimums
Front ²	
Living (1st Floor)/Porch	9 feet
Living (2nd Floor)	15 feet
Garage	18 feet
Private Patios	2 feet
Side (1st and 2nd Floor) ³	
Adjacent to Site Boundary	6 feet
Adjacent to Entry Park	6 feet
Between Living Areas	8 feet
Rear (1st and 2nd Floor)	
Adjacent to Site Boundary	6 feet
Between Building Walls	13 feet
Heights	Maximums
Buildings (Measured Finished Grade to Ridgeline) ⁴	2 stories, 35 feet
Wall/Fence in Front Setback ⁵	Up to 18 inches
Wall/Fence Along Site Boundary ⁵	7 feet minimum or height as determined by an acoustical study
Wall/Fence Between Homes ⁵	Up to 6 feet high
Private Open Space	Minimums
Private Open Space Per Home	250 square feet with a minimum dimension of 5 feet.
Parking	Minimums
See Section 2.2.4.	
¹ Eaves are permitted to encroach in all setback areas up to 24 inches. ² Measured from Drive curb face. ³ The building separation area shall be utilized for landscaping, walking paths and access to the rear yard. ⁴ Satellite antennae and unit venting components permitted to exceed the height limitation by a maximum of 3 feet. ⁵ Wall/fence heights measured from the adjacent front elevation or from the top of the retaining wall to the top of the wall/fence. Refer to <i>Exhibit 2.7 Wall/Fence & Lighting Plan</i> .	

2.2.4 Parking Regulations

Each single-family or attached home will include an attached garage with an inside minimum dimension of 19.6 feet wide by 19 feet deep clear. Each detached single-family home will have a driveway capable of parking two cars with a dimension of 16 feet x 18 feet. An additional 16 guest parking spaces are provided on the site accessed from Drive C. While Plan 2 of the single-family homes allows for a fourth or fifth bedroom option, no additional guest parking is required because overall, there are four parking spaces per dwelling unit. Refer to **Table 4 Parking Standards**.

Table 4: Parking Standards

Requirement	Total Spaces
Garage Parking (2/Home)	88
Driveway Parking (2/Detached Home)	72
Guest Parking	16
Total Spaces on the Site	176
Spaces/Unit	4

All garage doors shall be roll-up doors. The head-in guest parking stalls have a typical dimension of 9 feet x 18 feet with a 1-foot overhang into a 2-foot wide landscape area. The two curb-adjacent parking spaces have a typical dimension of 8 feet x 22 feet. Refer to **Figure 2.1 Conceptual Site Plan** for parking space locations.

2.3 ACCESS AND CIRCULATION

One vehicular ingress and egress access point is provided directly from West Valencia Drive. The development shall be ungated. As depicted in **Figure 2.1 Conceptual Site Plan**, the main access Drive (Drive A) will have a drivable width of 30 feet, providing enough space for two-way traffic.

Internal vehicle circulation shall be provided by a 26-foot wide Drive (B and C), allowing two-way traffic. Parking will not be permitted along the internal Drives except for two spaces at the north end. Guest parking stalls will be accessible from the Drives. The Drives exceed City of Fullerton Fire Department standards for access.

2.4 OPEN SPACE

The community is provided with one common open space Entry Park with an area of 2,611 square feet. A lighted pavilion will be provided centered between the two homes to the north. The use of layered landscape will enhance privacy for the adjacent homes. The HOA will maintain the Entry Park. Refer to *Figure 2.5 Conceptual Entry Park Plan*.

2.5 LANDSCAPE AND LIGHTING

The landscape plan has considered the climate and provides climate appropriate landscape and irrigation systems. The HOA will maintain the landscape and irrigation located in the common areas and front yards. Private home owners will maintain side and rear yard landscape. Refer to *Figure 2.6 Conceptual Landscape Plan*.

The landscape plan includes a layered landscape program providing a massing transition to the street. A colorful street tree will establish the neighborhood identity.

Water-wise landscape principles were utilized in the plant design including a low percentage of water-thirsty plants, smart irrigation controllers, drip irrigation and bark mulch to slow evapotranspiration and weed germination. All landscape shall comply with Chapter 15.50 of the Fullerton Municipal Code. The CC&Rs shall include information about the required water usage for the private patios/or private areas.

Decorative common area lighting of landscape elements such as the gazebo, community sign and specimen trees is provided in the Entry Park and common areas. The lighting will meet City of Fullerton safety standards and will be maintained by the HOA. Refer to *Figure 2.7 Conceptual Wall/Fence & Lighting Plan*.

2.5.1 Wall and Fences

There are a number of different wall/fence types located in this community. The privacy wall/fence along Valencia Drive will include wire mesh panels, arbors, and horizontal fence boards on gates for a contemporary look. The site boundary walls shall be of masonry construction with a maximum height determined by an acoustical study. In areas with retaining walls, the maximum height of the wall will be measured from the top of the retaining wall. The fences between homes may be wood or vinyl and can be up to six feet high. The walls or fences in the front yard setback may be masonry, wood, tubular steel, or

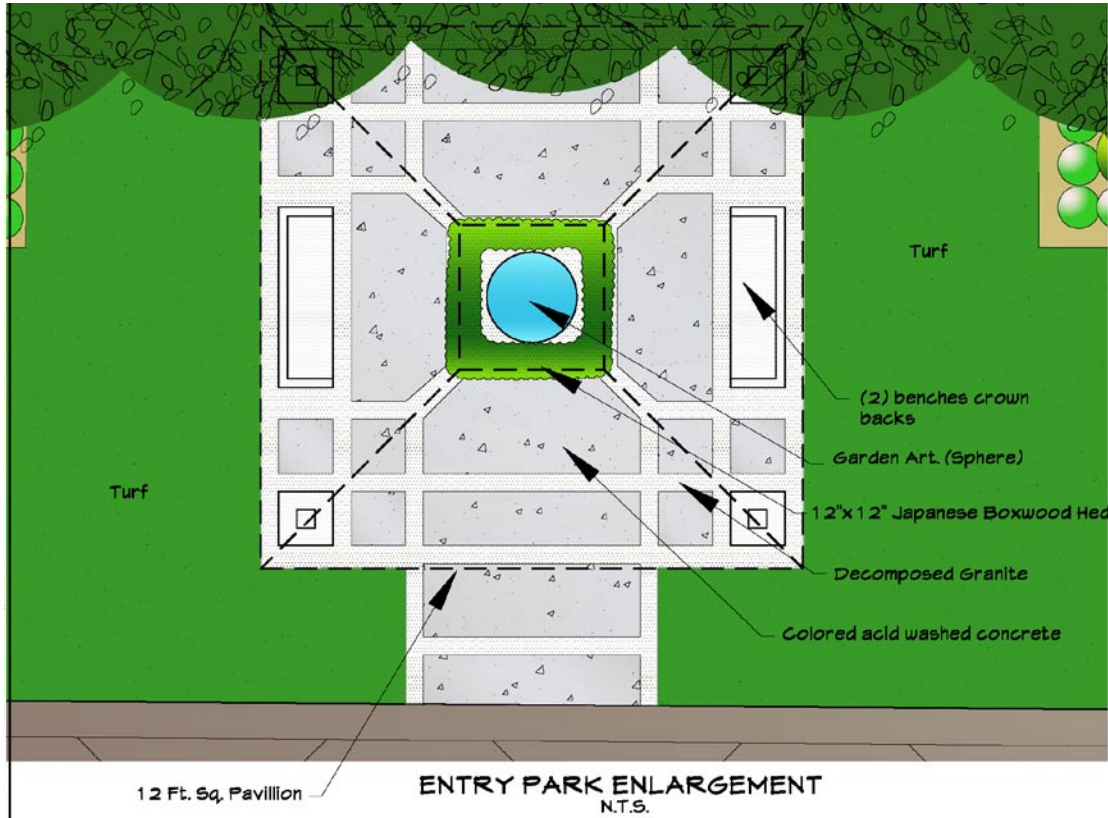
vinyl and can be up to 36 inches high measured from finish grade and/or from top of retaining walls if necessary. A variety of materials shall be used to provide diversity. Refer to **Figure 2.7 Conceptual Wall/Fence & Lighting Plan**. Any new wall or fence shall complement the architecture of the adjacent home and must be approved by the HOA.

2.6 SUSTAINABILITY

By its design, this infill development will be sustainable because of its location and compact design. All the homes will be constructed to USGBC's LEED for Homes certified standard. These standards provide for lower energy use and water consumption, healthier homes, and lower impacts on resources. The homes will be designed to achieve at least 15% better than 2008 Title 24 energy standards. Low-flow water fixtures, tankless water heaters, Energy Star appliances will be provided. The landscape will be climate appropriate and designed for low water consumption with limited turf and drip irrigation maintained by the HOA.

2.7 ADDITIONS OR ALTERATIONS OF HOMES

Any alteration to the homes shall be approved by the HOA prior to submittal to the Community Development Department including conversion of the lofts to bedrooms in Plan 2 or dens to bedrooms in the duplex or Plan 2, or any change to the exterior facade. The Director of Community Development shall review and approve the alteration if it can be determined that the alteration meets the intent of the *Valencia & Woods Specific Plan*.



Legend

- ① 12' sq. Pavillion.
Colored acid washed concrete.
Decomposed granite.
12" x12" Japanese Boxwood hedge.
Garden art.
(2) Benches crown backs.
- ② Turf.
- ③ Brisbane Box Tree at 8' o.c.
- ⑤ Swan Hill Olive tree or shaped trees in 36" dia. 30" ht. pot at 8' o.c.
with Geranium or Bougainvillea.
- ⑥ 7' ht. Hedge.
- ⑦ 36" ht. Bright green hedge.
- ⑧ 24" ht. Small privet type hedge.
- ⑩ Iceberg Rose groundcover.
- ⑳ Jacaranda Specimen tree.

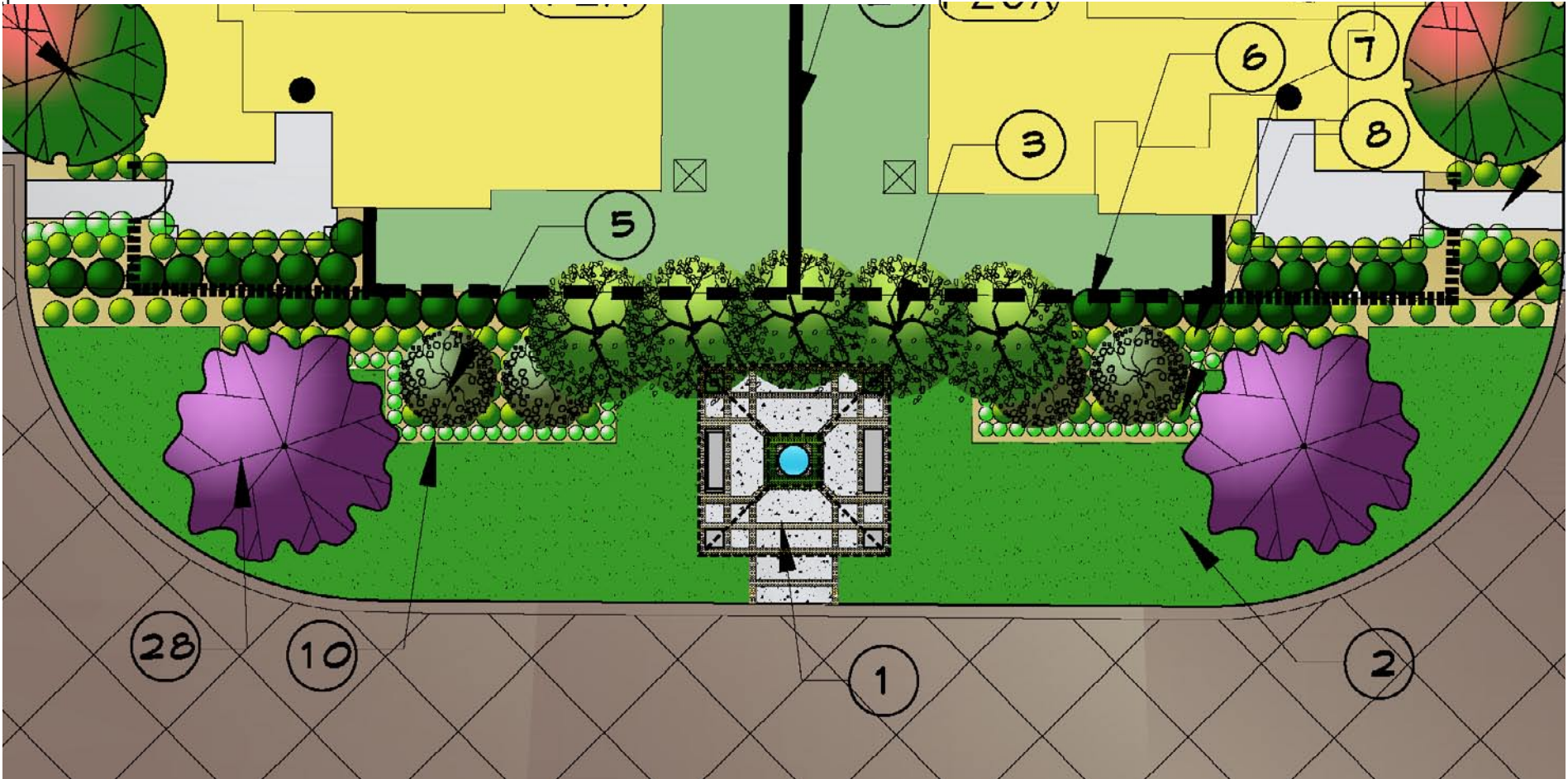


Exhibit 2.4 Conceptual Entry Park Plan

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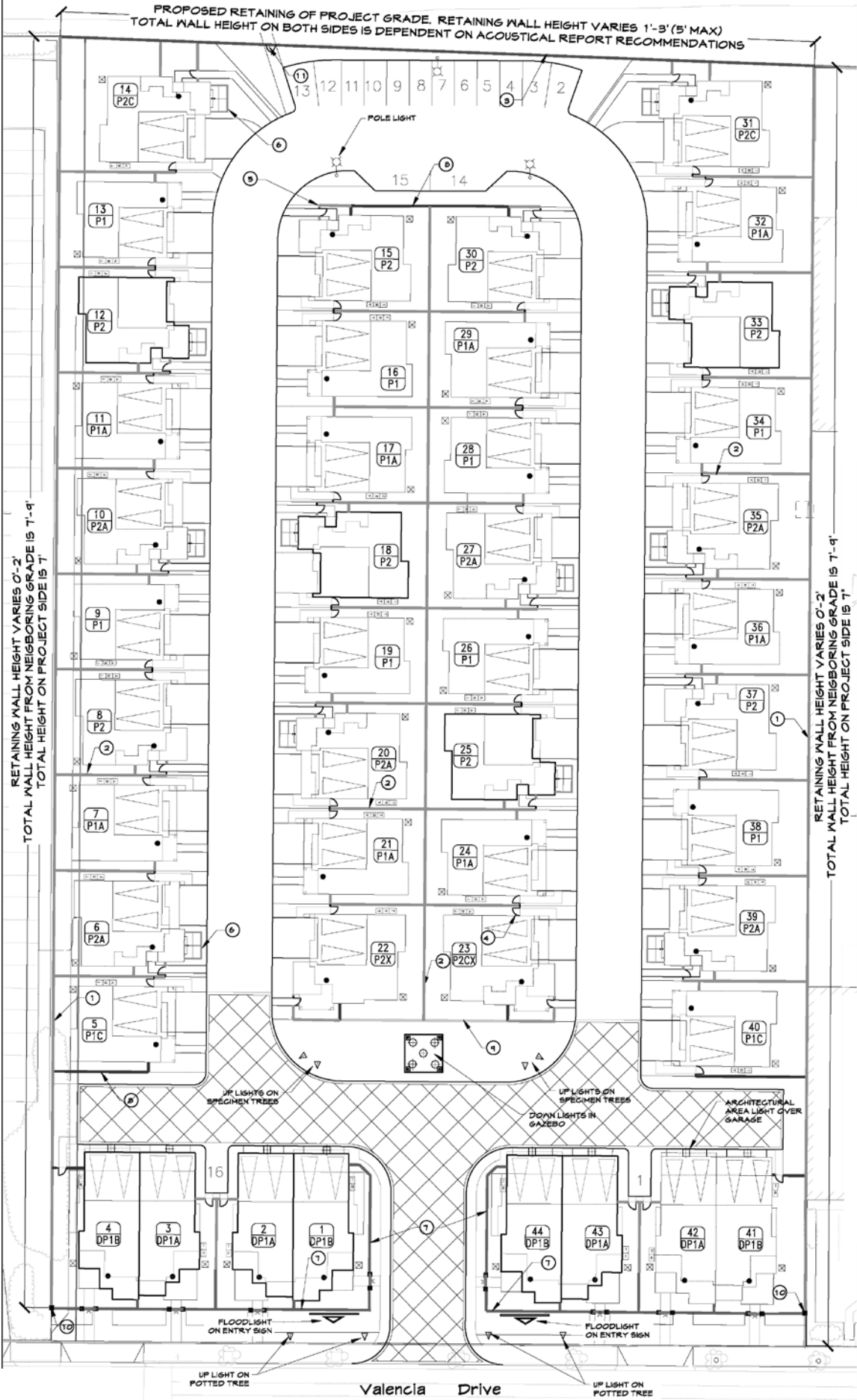


CONCEPTUAL LEGEND

- ① 12' sq. Pavillion. (By WHA)
Colored acid washed concrete.
Decomposed granite.
12" x 12" Japanese Boxwood hedge.
Water feature.
- ② Benches crown backs.
- ③ Turf.
- ④ Brisbane Box Tree at 8' o.c.
- ⑤ 7' ht. Wall.
- ⑥ Swan Hill Olive tree or shaped trees in 36" dia. 30" ht. pot at 8' o.c. with Geranium or Bougainvillea.
- ⑦ 7' ht. Hedge.
- ⑧ 36" ht. Bright green hedge.
- ⑨ 24" ht. Small privet type hedge.
- ⑩ Shaped (ball or obliisk) shrub in front of decorative wall.
- ⑪ Iceberg Rose groundcover.
- ⑫ Low seating wall.
- ⑬ Asphalt street.
- ⑭ Sound wall.
- ⑮ Streetscape potted trees in a zinc pot. Grape Myrtle or Swan Hill Olive with geraniums.
- ⑯ Multi trunk street tree. Chinese Flame Tree.
- ⑰ Gate with horiz. cedar.
- ⑱ Optional gate with wall or fence.
- ⑲ 8' ht. Hedge.
- ⑳ 3' ht. Waxed Privet hedge.
- ㉑ 18" ht. Japanese Boxwood hedge.
- ㉒ Wall signage for project identification.
- ㉓ Solid gate with upper opening and vine covered arbor frame.
- ㉔ Pot with accent planting.
- ㉕ City sidewalk.
- ㉖ Espaller.
- ㉗ Entry walkway to house.
- ㉘ 6' ht. Wood fence.
- ㉙ Specimen tree, Jacaranda.
- ㉚ 30"x30" Tube frame with 3"x3" galvanized grill wall.
- ㉛ Street tree, Pyrus calleryana per City of Fullerton Master Plan of Street Trees.
- ㉜ Wire canopy with vine.
- ㉝ Enhanced entry.
- ㉞ Cable wire with vine.

Exhibit 2.6 Conceptual Landscape Plan

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Conceptual Wall and Fence Legend

Number	Symbol	Elevation	Description
1	-----	"C" Below	7' ht. Perimeter Block wall East & West side Project Boundary. NOTE: Perimeter walls could be greater per the acoustical report
2	-----	"G" Below	6' ht. Wood fence.
3	-----	"C" Below	Perimeter Sound wall. Height TBD By Acoustical report.
4	-----	"H" Below	Gate with horiz. cedar planks.
5	-----	"E" Below	Optional 30' ht. gate with wall for Plan 2's only.
6	-----	"F" Below	18" ht. Low seating wall on Optional Plan 2 Front Patios.
7	-----	"A" Below	5' ht. Community Wall with signage Along Valencia Drive.
8	-----	"E" Below	6' ht. Interior Precision Block Wall at Corner/ End Lots & Returns.
9	-----	"B" Below	6' ht. Entry Parky Wall in front of Entry Park
10	-----	"I" Below	Pilaster
11	-----	"J" Below	Access Gate per Cal Trans Detail

SUGGESTED LANDSCAPE LIGHTING LEGEND	
SYM.	FIXTURE & PURPOSE
⊕	ARCHITECTURAL LIGHT MOUNTED TO BUILDING TO ILLUMINATE SURROUNDING STREET & COMMON AREA
⊕	DOWN LIGHTS MOUNTED TO CEILING OF ENTRY PARK GAZEBO. BEAMS FOCUSED ON FOUNTAIN ART PIECE & A GAZEBO COLUMNS
▽	ENTRY SIGN MONUMENT FLOOD LIGHTS. GROUND MOUNTED WITH HEDGE PLANTS IN FRONT. BEAMS FOCUSED ON ENTRY SIGN.
▽	TREE CANOPY UP LIGHTS. FOCUS BEAMS ON UNDERSIDE OF TREE CANOPY. GROUND MOUNTED ABOVE SURROUNDING PLANTING
⊕	DECORATIVE PEDESTRIAN SCALE POLE MOUNTED STREET & PARKING LIGHT. ILLUMINATE SURROUNDING PUBLIC AREAS
LIGHTING NOTE THE PURPOSE OF THIS PLAN IS TO POINT OUT OPPORTUNITIES TO DYNAMICALLY LIGHT LANDSCAPE STRUCTURES, TREES ETC. ALL SAFETY STREET LIGHTING TO BE PER CITY OF FULLERTON STANDARDS	

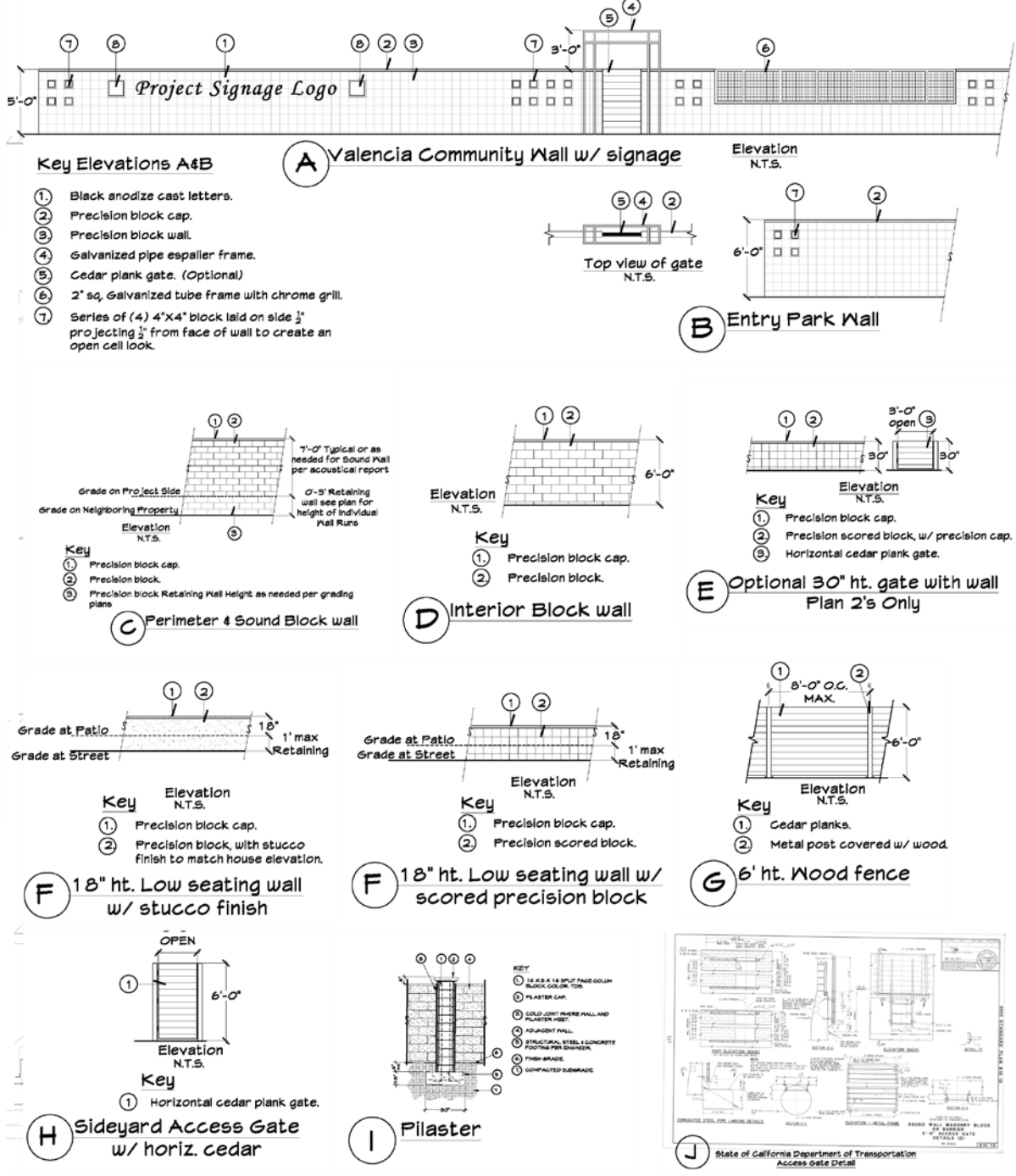


Exhibit 2.7 Wall/Fence & Lighting Plan

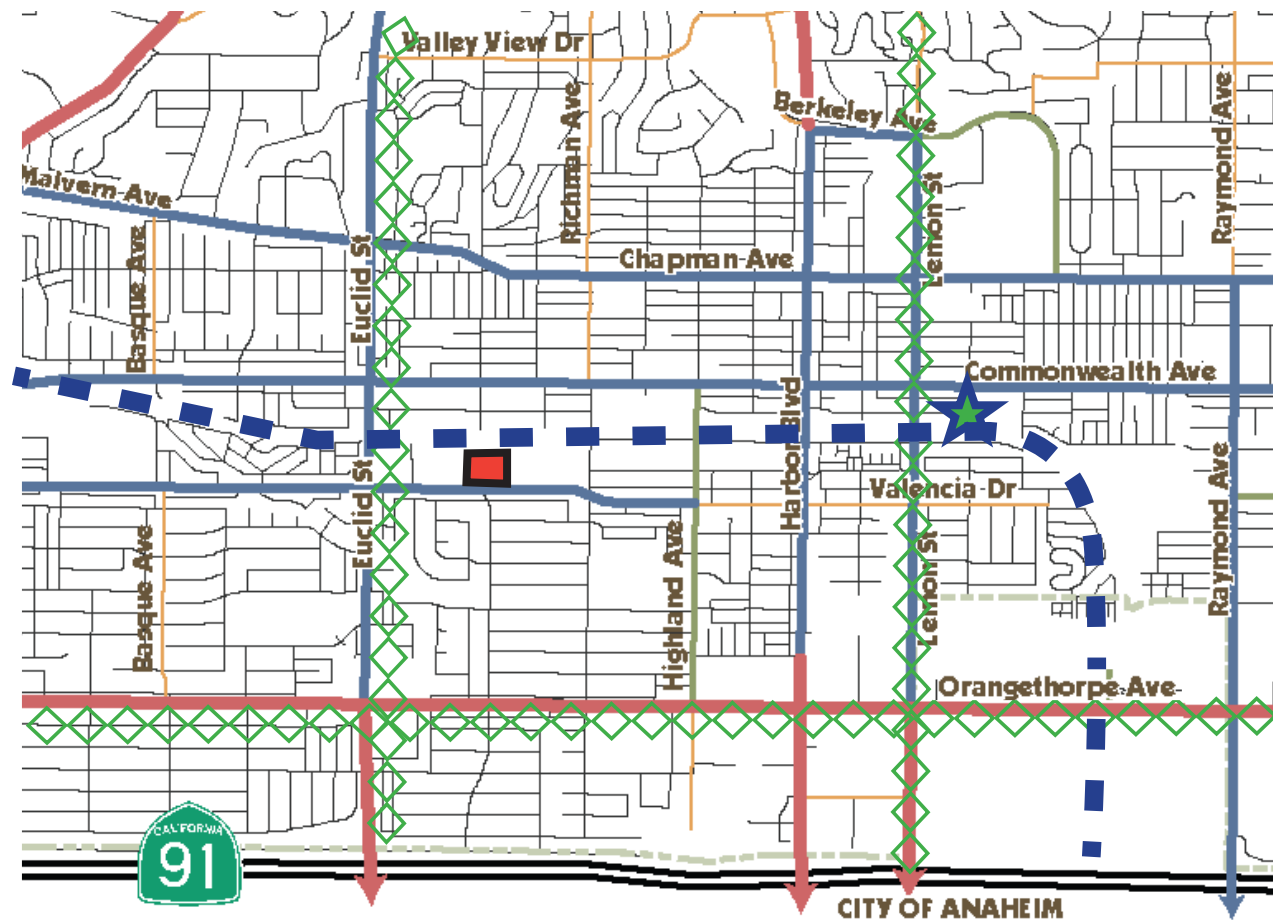
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3.0 INFRASTRUCTURE

3.1 TRANSPORTATION

Developing this community in an existing urban environment creates alternative mobility opportunities beyond the private automobile. From a transportation point of view, the main objective of the Specific Plan is to establish an in-fill residential community that will improve transportation efficiencies and in the process, reduce the number of private vehicle trips. The community is accessed from West Valencia Drive, a Primary Arterial Highway with four travel lanes and a right-of-way width of 80 feet. The site is located just under a mile from the Fullerton Transportation Center, home to one of the busiest train station in Orange County, providing access to Amtrak and Metrolink rail services, the Orange County Transportation Agency (OCTA) bus system, private taxi service, and secure bicycle storage. Additional OCTA bus routes and stops are located within walking distance of the project on Euclid Avenue, Harbor Boulevard, and Orangethorpe Avenue. Jobs and services are also within walking distance. ***Refer to Figure 3.1 Transportation Plan*** for information about bus routes, trails and circulation systems.

As previously discussed, the access Drive (Drive A) drivable width will be 30 feet wide, providing enough space for two-way traffic. The internal vehicle circulation will be provided by a 26-foot wide drive, allowing two-way traffic. The internal Drives loop around themselves (Drives B and C). Parking will not be permitted along the internal Drives except for two spaces at the north end. Guest parking stalls will be accessible from the Drives. The Drives exceed City of Fullerton Fire Department standards for access. Refer to ***Figure 3.2a and b Preliminary Grading and Storm Drainage Plan*** for Drive locations.



Legend

- Major Arterial Highways
- Primary Arterial Highways
- Secondary Arterial Highways
- Local Collector Streets
- Union Pacific Right of Way and Future Backbone Trail
- ◇◇◇◇◇ OCTA Bus Routes
- ★ Fullerton Transportation Center
- Valencia & Woods Specific Plan Area

Figure 3.1 Regional Transportation Plan

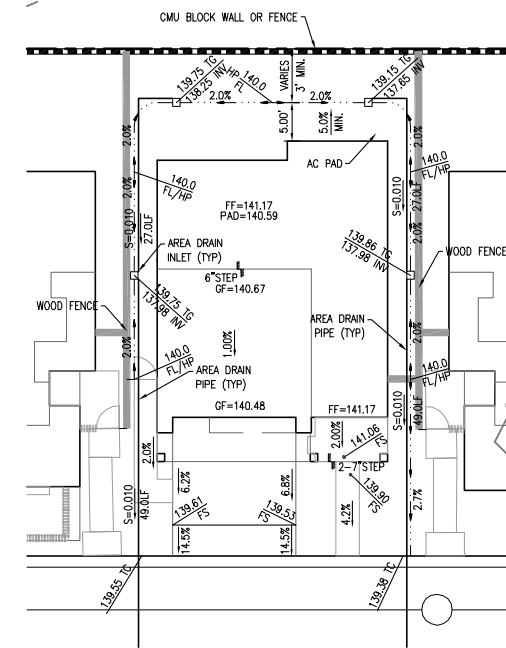
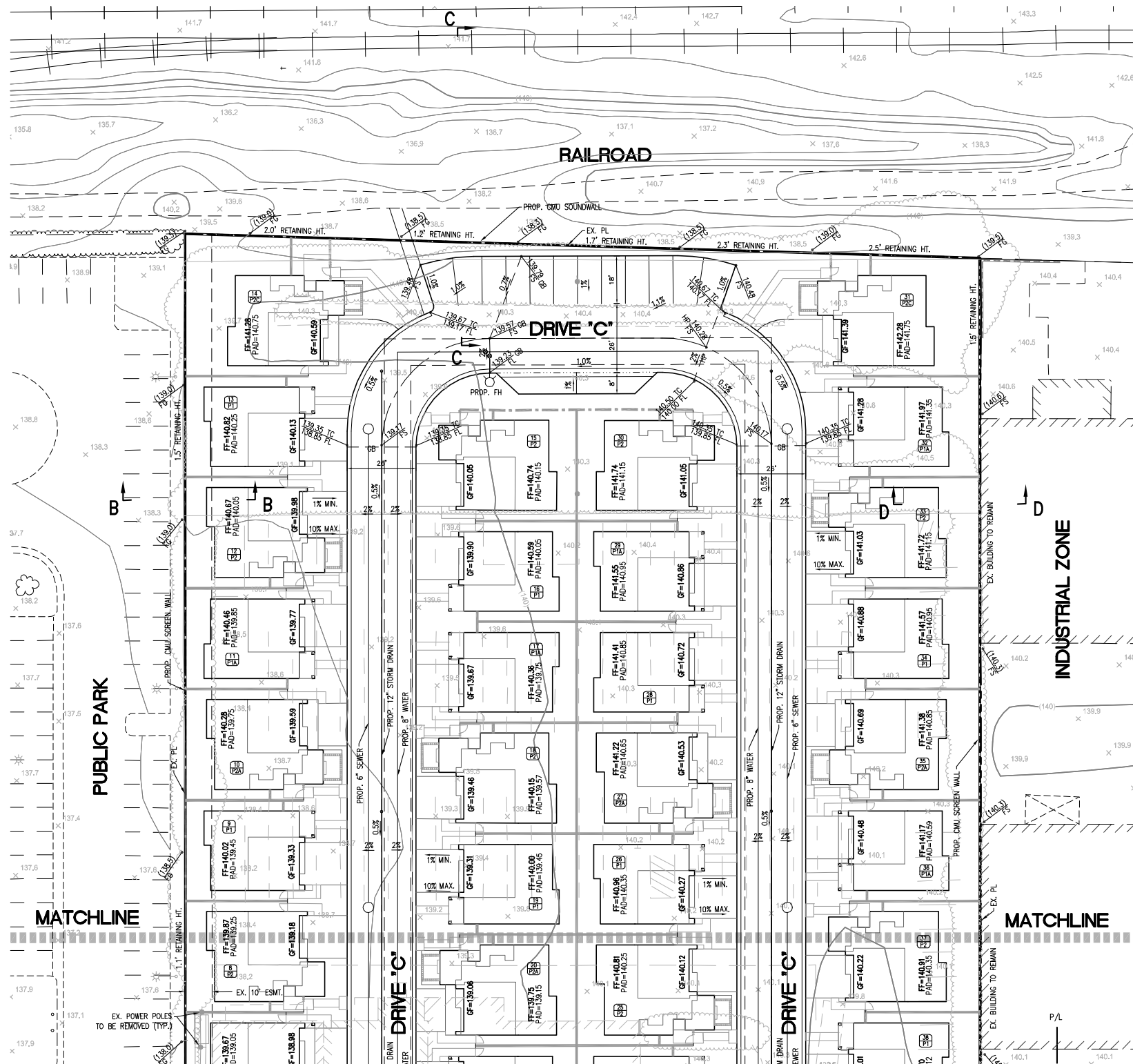
3.2 GRADING

A preliminary grading plan that satisfies the infrastructure requirements of the development is shown on Figure 3.2 Preliminary Grading and Storm Drainage Plan. The site is relatively flat. The grading concept proposes a retaining wall along the north property line to allow for proper drainage of the site. Retaining walls will be provided, where necessary, to maintain the grade of adjacent properties (refer to Figure *3.2a & b Preliminary Grading and Storm Drainage Plan*).

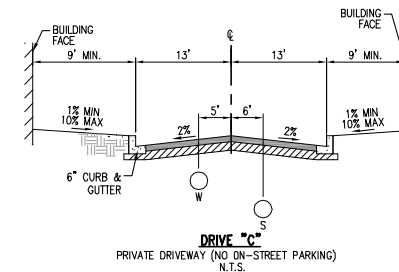
3.2.1 Drainage

There is no existing underground storm drain system along the property frontage within West Valencia Drive. All site drainage will flow along the surface of the internal Drives and be collected into infiltration drywells or similar treatment systems. Runoff flows that are not infiltrated, will overflow over the access Drive and onto West Valencia Drive. From there, runoff will flow west toward Euclid Street to a series of catch basins with outlets to the OCFCD channel. The drainage system will meet the requirements of the Water Quality Management Plan (WQMP) approved by the City of Fullerton. The storms drains will be maintained by the HOA. Proposed storm drains will be constructed in the locations depicted on *Figure 3.2a & b Preliminary Grading and Storm Drainage Plan*.

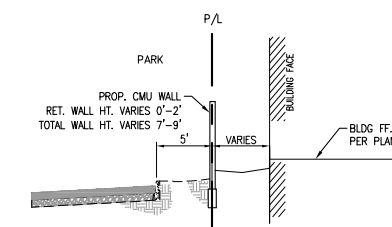
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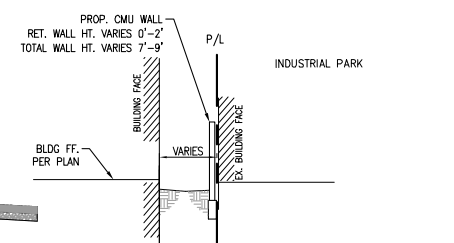
TYPICAL P1 GRADING
1"=10'



DRIVE "C"
DRIVEWAY (NO ON-STREET PARKING)
N.T.S.



SECTION B-B
N.T.S.



SECTION D-D
N.T.S.

SECTION C-C
N.T.S.

Exhibit 3.2a Preliminary Grading and Storm Drainage Plan

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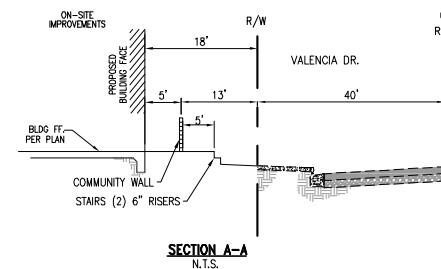


Exhibit 3.2b Preliminary Grading and Storm Drainage Plan

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3.3 PUBLIC SERVICES

3.3.1 Water

Water for this site will be supplied by the City of Fullerton Water Utility. A loop water system will be provided in the internal Drives with two points of connection to the 12-inch existing water main located in West Valencia Drive. The developer will generate water improvement plans that will conform to City standards and submit them to the City for plan check and approval. The water system is proposed to be publicly maintained.

Proposed water lines will be constructed in locations as depicted on *Figure 3.3a & b Preliminary Utility Plan*.

3.3.2 Sewer

Sewer pipes will also be located in the internal Drives and connect to an existing 8-inch sewer main located in West Valencia Drive. The gravity system eventually flows into the Orange County Sanitation District sewer lines that take the sewage to a treatment plant. The developer will engineer a plan that conforms to City standards and submit to the City for plan check and approval. The sewer system is proposed to be privately maintained.

Proposed sewer lines to serve the planned development will be constructed in locations depicted on *Figure 3.3a & b Preliminary Utility Plan*.

3.3.3 Solid Waste Disposal

It is the responsibility of each homeowner to start service for solid waste collection. Each home will be provided with enough space within their private yards to store individual trash and recycling bins. On a designated day, MG Disposal will collect solid waste and take it to their disposal facilities.

3.3.4 Utilities

Southern California Edison provides electricity to the site. Existing overhead lines along the western boundary will be removed. Edison transformers will be located above ground as per Edison requirements. This above ground transformer will likely be placed in between the front yards of residential units on the loop Drives. Where feasible, they will locate the transformers within the common areas.

The Southern California Gas Company provides natural gas service to the site. Although not yet designed, gas pressure regulators will be placed within common areas. However, individual gas meters will be placed in the side yards of each home.

AT&T provides telephone service; and television cable will be provided by Time Warner for this community. It is anticipated that electric, gas, telephone, and cable services to the proposed development will be provided through extension of existing facilities within West Valencia Drive.

All service providers will be granted an easement to access and maintain their infrastructure on site. All easements will be non-exclusive in nature, which opens up the opportunity for other service providers to serve the site in the future. Increased competition between service providers may result in cost savings to the end user.

All on-site dry utilities will be provided through underground infrastructure.

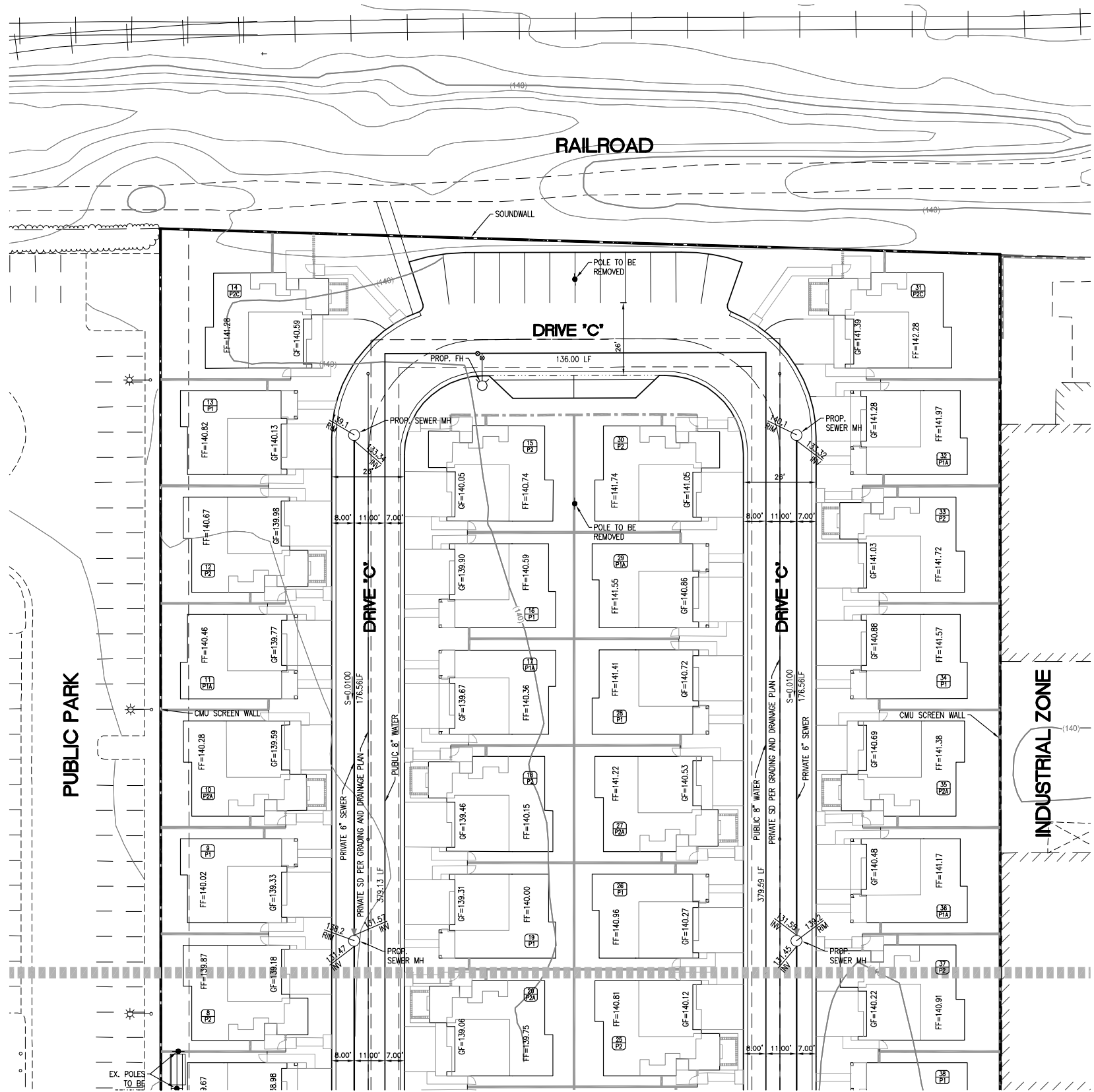
3.3.5 Emergency Services

The site will be served by the Fullerton Fire Department and the City of Fullerton Police Department. The site is near the police station located at 237 West Commonwealth Avenue. The site complies with all fire department access requirements. The site is located between two fire stations, Station 1 (Headquarters) at 312 East Commonwealth Avenue and Station 2 at 1732 West Valencia Drive.

3.3.6 Schools

The site is located in both the Fullerton Joint Union High School District and the Fullerton School District. The Fullerton School District provides services to elementary and junior high schools. It is anticipated that elementary and junior high school students living in this community will attend Richman Elementary School and Nicolas Junior High School, respectively. Both schools are walking distance from the site.

It is anticipated that high school students living in this community will attend Fullerton High School.



SEE SHEET C-4

Exhibit 3.3a Preliminary Utility Plan

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4.0 IMPLEMENTATION & ADMINISTRATION

4.1 FINANCING AND MAINTENANCE OF IMPROVEMENTS

The financing and maintenance plan for the Valencia & Woods Specific Plan will ensure the timely completion of public facilities, utilities, and other necessary capital improvements as well as the proper maintenance of these facilities. There are numerous methods for financing the improvements necessary to complete this Specific Plan, and a few financing mechanisms will be utilized.

Upon acquisition of permits, it shall be the responsibility of the developer to pay for all improvements associated with this Specific Plan and all other approvals related with this plan as described in **Table 6: Financing and Maintenance Plan**.

The developer shall establish a homeowner's association (HOA) for the long-term maintenance of items on site not maintained by the City of Fullerton. The City of Fullerton will have an easement over the internal circulation system for access and maintenance of onsite water facilities which will be maintained by the City. The City easement will also be utilized for emergency services and trash collection. All sewer facilities located in the private drives (between curb faces) shall be maintained by the HOA.

The HOA will also maintain the onsite storm drain, park lighting, and landscape and irrigation systems located on the common lots as defined by the Tentative map. The HOA will also be responsible for the maintenance and insurance for the attached duplex structures and will be paid for through the monthly assessments of the HOA.

Private areas to be maintained by the Homeowner include areas located behind fences and walls, including the front patios with low walls. The front yard areas which are open to the street are to be HOA maintained. Any revisions to front yard landscaping of the single family detached lots must be approved by the HOA.

Table 6: Financing and Maintenance Plan indicates the parties responsible for construction, financing, and maintaining the public improvements proposed by the Specific Plan.

Table 6: Financing and Maintenance Plan

Service or Facility	Party(ies) Executing Construction	Party(ies) Financing Construction	Party(ies) Responsible for Operation and Maintenance
Sewer and Storm Drainage Facilities	Developer	Developer	Homeowners Association
On-Site Water	City of Fullerton	Developer	City of Fullerton
Off-site Water Facilities	City of Fullerton	Developer	City of Fullerton
Residential Streetscape	Developer	Developer	Homeowners Association
Common Area Improvements	Developer	Developer	Homeowners Association
Private Area Improvements	Homeowner	Homeowner	Homeowner

4.2 PROJECT CONSTRUCTION PHASING

All infrastructure within the project boundary will be installed in one phase at project start. These improvements include rough grading, storm drain, water, sewer, dry utilities, and street improvements.

Home construction will include approximately five to six phases. Starts will be based on sales of homes in the previous phase. It is unclear at this time how many phases there will be. The number of phases and number of units in phases may be altered from time to time.

4.3 SPECIFIC PLAN AMENDMENT PROCEDURES

This Specific Plan may be amended using the same process by which it was approved. Proposed modifications to the Specific Plan that would substantially alter its intent will be considered amendments to be processed pursuant to Government Code Section 65453.

In the event that the *Valencia & Woods Specific Plan* is not clear in its intent, authority shall be given to the Community Development Director to interpret the Plan.

5.0 GENERAL PLAN CONSISTENCY

The Fullerton Plan serves as Fullerton's General Plan pursuant to State law, but goes beyond State's General Plan Guidelines. The Fullerton Plan is the City's fundamental governance document that guides decision-making, actions programs, and crafting of more specific policies. It embodies community values and sets general direction for achieving the Fullerton Vision. The Fullerton Plan views Fullerton as a built place, a local economy, a community of people, and a part of the natural environment. Part II of The Fullerton Plan is organized into four Master Elements:

- The Fullerton Built Environment
- The Fullerton Economy
- The Fullerton Community
- The Fullerton Natural Environment.

The purpose of this chapter is to ensure that the ***Valencia & Woods Specific Plan*** is consistent with the goals and policies of The Fullerton Plan, as amended, as required per Government Code Section 65454. A general discussion of how the Specific Plan conforms to the pertinent goals and policies identified in The Fullerton Plan is provided herein. Only those goals and policies that apply to or have relevance to the ***Valencia & Woods Specific Plan*** are discussed.

MASTER ELEMENT A: THE FULLERTON BUILT ENVIRONMENT**Goal 1: Resilient and vital neighborhoods and districts*****P1.11 Compatibility of Design and Uses***

This infill project promotes positive design relationships and use compatibility with adjacent built environments and land uses, including the public realm through its orientation to West Valencia and connection to Independence Park. This new residential infill community will expand residential land uses from the south and will create a more appropriate transition between Independence Park and existing commercial/industrial uses. The new residential and park adjacency will create a renewed synergy in this transitional neighborhood.

P1.12 Energy- and Resource-Efficient Design

All the homes will be constructed to USGBC's LEED for Homes certified standards. Homes will be designed with efficiency in mind, and include such features as tankless water heaters, Energy Star appliances, drought tolerant landscape with limited turf, and drip irrigation systems.

Goal 2: A positive identity and distinctive image***P2.7 Relationship to Street***

The duplex townhomes that face West Valencia Drive utilize a "Mid-Town Contemporary" design concept that will create a positive, accessible image along the street and reinforce a vibrant and comfortable public realm. A distinctive community wall with layered landscape will be provided along Valencia Drive.

P2.8 Responsiveness to Context

This infill project provides a good transition between the adjacent Independence Park and the adjacent industrial buildings. The architecture draws its context from Fullerton examples, but with a modern twist, resulting in a "Mid-Town Contemporary" design concept. This new style uses traditional architecture and roof forms, but combines them with contemporary features, such as metal roofs, cable vines over garages, and enhanced front yards which create indoor-outdoor living opportunities.

Goal 3: A supply of safe housing ranging in cost and type to meet the needs of all segments of the community.***3.4 Facilitate Infill Development***

This project is an infill development that will provide new housing options for children, workforce families and young professionals and allow entry level and first move-up home ownership opportunities.

3.7 Development of Housing for Families

All the homes within this development will have at least three bedrooms, Some of the homes will have four bedrooms (with options for a fifth) providing new single-family and duplex housing opportunities for families.

3.24 Encourage Sustainability and Green Building Practices

All the homes will be constructed to LEED for Homes certified standards

3.26 Efficient Use of Energy Resources in Residential Development

Homes within the project will exceed Title-24 energy standards by 15% and will incorporate energy efficient features such as tankless water heaters, energy star appliances, drought tolerant landscape, limited turf areas, and water efficient irrigation.

3.28 Provision of Amenities and Services Adjacent to Housing

Since this development is located on an infill site the following amenities and services are located nearby: parks, open space, retail, educational facilities, trails, and transit opportunities. Independence Park, in particular, offers a wide range of amenities and opportunities for its residents, including FAST Swim Team/Lessons, Skate Park, Tot Lot, Boys and Girls Club, and landscaped recreational open space. Retail is offered along the Euclid Street corridor. Downtown Fullerton is approximately one mile from the site.

Goal 6: A bicycle-friendly city where bicycling is a safe and convenient alternative to motorized transportation and a recreational opportunity for people of all ages and abilities.***P6.12 Bicycle Parking and Facilities***

An existing Class II Bike Lane is provided on West Valencia in front of the project that allows future residents access to Fullerton's extensive bikeways. Two-car private garages allow for storage of bicycles for residents. To the north of the site, is the planned rail trail that can be accessed from the development.

Goal 7: Growth and development aligned with infrastructure capabilities.***P7.5 Appropriate Development Scale***

The project was designed at a higher density than the homes to the south, across West Valencia Drive, but this is appropriate given the industrial uses to the east. The development will create a buffer/transition between the commercial/industrial use and park use.

GOAL 8: Protection from the adverse effects of noise.***P8.6 Noise Receptors***

A noise study will be conducted to verify required wall heights adjacent to noise producing sources. In particular, the rail use to the north will likely require a sound wall of increased height to mitigate noise, as well as some mechanical and building material upgrades to reduce interior noise if required.

MASTER ELEMENT B: THE FULLERTON ECONOMY**Goal 9: Long-term fiscal strength and stability that has a foundation in local economic assets and adapts to dynamic market conditions.*****P9.17 Fiscally Sound Development***

New and innovative housing opportunities will attract families who are economically stable and will contribute to the community and local economy within the City of Fullerton. Impact fees from the development will help offset the costs of local services needed for this community. The interior streets and landscape will be privately maintained, further reducing the impact of this project on City resources.

MASTER ELEMENT C: THE FULLERTON COMMUNITY**Goal 12: Proactively addressing public safety concerns.*****P12.13 Safety through Design***

New residential in this transitional neighborhood will change the character of the existing vacant industrial use. The new residents will be unified through their HOA and be more able react to safety incidents.

Goal 14: An environment with opportunities for community health and wellbeing.***P14.6 Amenities within a Walkable Distance***

The following amenities and services are located within a walkable distance: parks, open space, retail, educational facilities, trails, and transit opportunities. Independence Park, in particular, offers a wide range of amenities and opportunities for its residents, including FAST Swim Team/Lessons, Skate Park, Tot Lot, Boys and Girls Club, and landscaped recreational open space. Retail is offered along the Euclid Street corridor. Downtown Fullerton is approximately one mile from the site.

P14.9 Healthy Buildings

All the homes will be constructed to LEED for Homes standards.

MASTER ELEMENT D: THE FULLERTON NATURAL COMMUNITY**Goal 15: Parks, recreational facilities, trails, and programs that promote a healthy community and a desirable quality of life.*****P15.16 Relationships to Development Projects***

This development is located on an infill site immediately adjacent to Independence Park that offers a wide range of amenities and opportunities for its residents, including FAST Swim Team/Lessons, Skate Park, Tot Lot, Boys and Girls Club, and landscaped recreational open space. Residents can access the park along West Valencia Drive sidewalks. To the north of the site is the planned rail trail that can be accessed from Independence Park adjacent to the development

Goal 17: An exceptional variety and quality of educational opportunities that reach community members throughout their lives.***P17.16 Project Impact Mitigation***

This project has been coordinated with the school districts and the required development fees will be paid.

Goal 19: An adequate, safe, and reliable water supply.***P19.7 Sustainable Water Practices in New Development***

All the homes will be constructed to LEED for Homes standards.

Goal 20: A healthy watershed and clean urban runoff.***P20.6 Construction Impacts***

The site will be protected during construction through the use of stormwater BMP's, which will prevent sediment from leaving the site.

P20.7 Development Impacts

The development has been designed with dry well infiltration to treat and minimize stormwater flows from the community. The proposed water-efficient irrigation system will minimize the amount of runoff from the landscape areas.

Goal 21: Protection and improvement of air quality.***P21.6 Construction Impacts***

During construction, required BMPs will be utilized that reduce the amount of dust in the air. Emissions from construction vehicles will meet current California requirements.

P21.7 Development Impacts

All the homes will be constructed to LEED for Homes standards.

Goal 22: Participation in regional efforts to address climate change and its local impacts.***P22.9 Development***

All the homes will be constructed to LEED for Homes standards.

Goal 23: Safe and efficient management of waste.***P23.7 Waste Management***

At least 50% of demolition and construction waste will be diverted from landfills during the construction of this project.

ORDINANCE NO. 3188

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FULLERTON, CALIFORNIA, APPROVING ZONING AMENDMENT LRP12-00011 TO CHANGE THE ZONING OF A 3.54 ACRE SITE FROM M-G (MANUFACTURING, GENERAL) TO SPD (SPECIFIC PLAN DISTRICT), SUBJECT TO PROVISIONS OF THE VALENCIA & WOODS SPECIFIC PLAN, FOR PROPERTY LOCATED ON THE NORTH SIDE OF VALENCIA DRIVE IMMEDIATELY EAST OF INDEPENDENCE PARK

PRJ12-00198
ZONING AMENDMENT LRP12-00011

APPLICANT: OLSON URBAN HOUSING LLC
PROPERTY OWNER: OLSON URBAN HOUSING LLC

THE CITY COUNCIL OF THE CITY OF FULLERTON DOES ORDAIN AS FOLLOWS:

1. That an application was filed to consider a Zoning Amendment to change the zoning classification from M-G to SPD for property located at 655 West Valencia Drive, more specifically described as:

Assessor's Parcel Nos. 032-091-16

2. That public hearings before the Planning Commission and City Council were duly called, noticed and held in consideration of the proposed Zoning Amendment.


3. That a Mitigated Negative Declaration was prepared and adopted for this project in conformance with applicable provisions of the California Environmental Quality Act to identify the project's potential adverse environmental effects and mitigation measures to reduce such impacts to a level that is less than significant.

4. That the approval and implementation of the Zoning Amendment will not be injurious or detrimental to the property and improvements in the project area, nor to the general welfare of the City of Fullerton, and should therefore be approved.

5. That a General Plan Revision has been approved concurrently, and the proposed zoning and general plan land use designations are consistent.

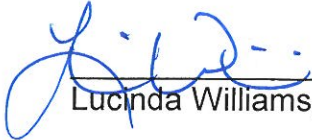
6. The City Council hereby adopts Zoning Amendment LRP12-00011 changing the zoning classification of the site from M-G to SPD

ADOPTED BY THE FULLERTON CITY COUNCIL ON JUNE 4, 2013.



Bruce Whitaker, Mayor

ATTEST:



Lucinda Williams, City Clerk

June 10, 2013
Date

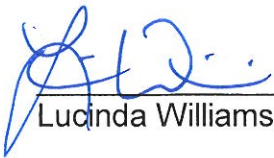
City of Fullerton
ORDINANCE CERTIFICATION

STATE OF CALIFORNIA)
COUNTY OF ORANGE) SS
CITY OF FULLERTON)

ORDINANCE NO. 3188

I, Lucinda Williams, City Clerk and ex-officio Clerk of the City Council of the City of Fullerton, California, hereby certifies that the whole number of the members of the City Council of the City of Fullerton is five; and that the above and foregoing Ordinance No. 3188 had first reading by title only, introduction, and further reading waived at the May 21, 2013 City Council regular meeting and was adopted at the June 4, 2013 City Council regular meeting by the following vote:

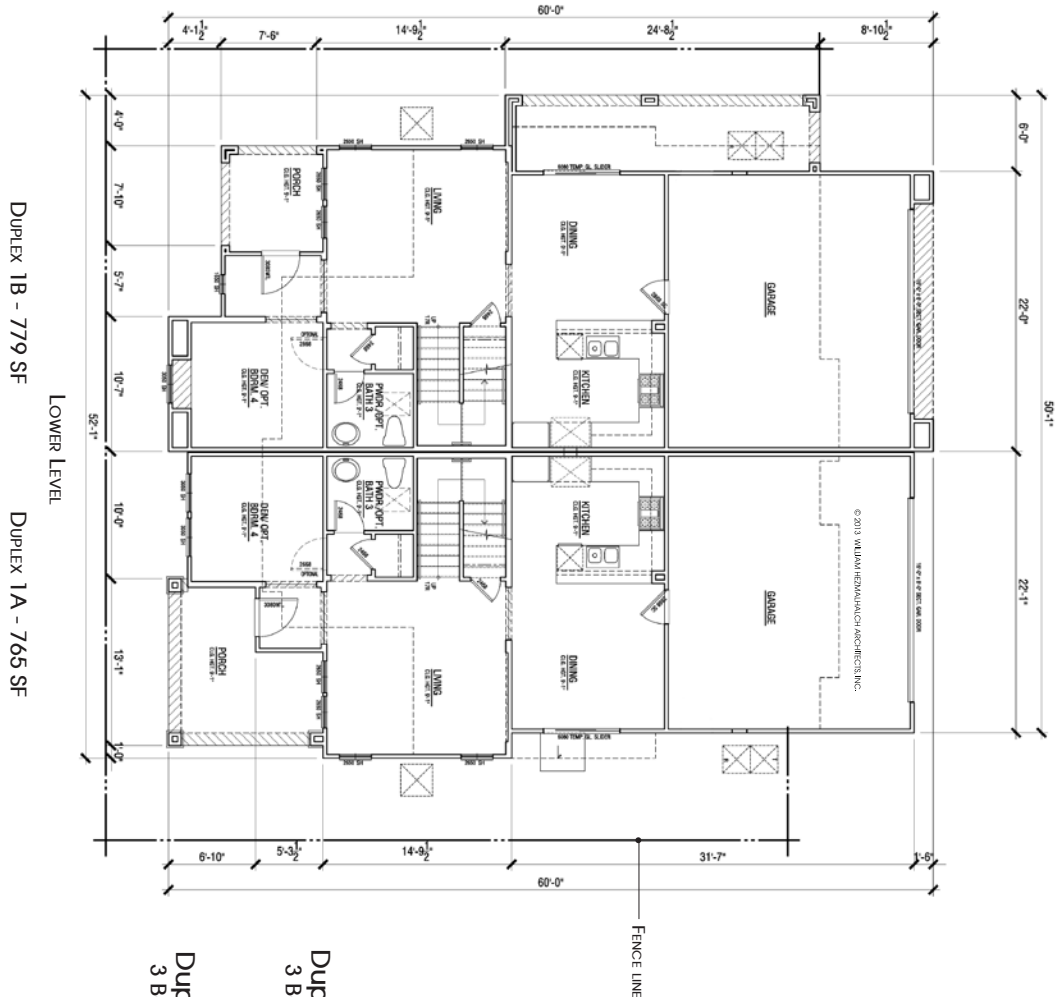
COUNCIL MEMBER AYES:	Whitaker, Chaffee, Flory, Fitzgerald
COUNCIL MEMBER NOES:	None
COUNCIL MEMBER ABSTAINED:	None
COUNCIL MEMBER ABSENT:	Sebourn



Lucinda Williams, City Clerk

APPENDIX

NOTE: ALL FLUSH WINDOWS TO
HAVE APPLIED TRIM ON ALL FOUR
ELEVATIONS ON THE DUPLEXES.



DUPLEX 1B - 779 SF

LOWER LEVEL

DUPLEX 1A - 765 SF

Duplex 1A - 1,579 SF
3 Bdrm/ 3 Bath/ Den/
Opt. Bdrm 4
2 Car Garage

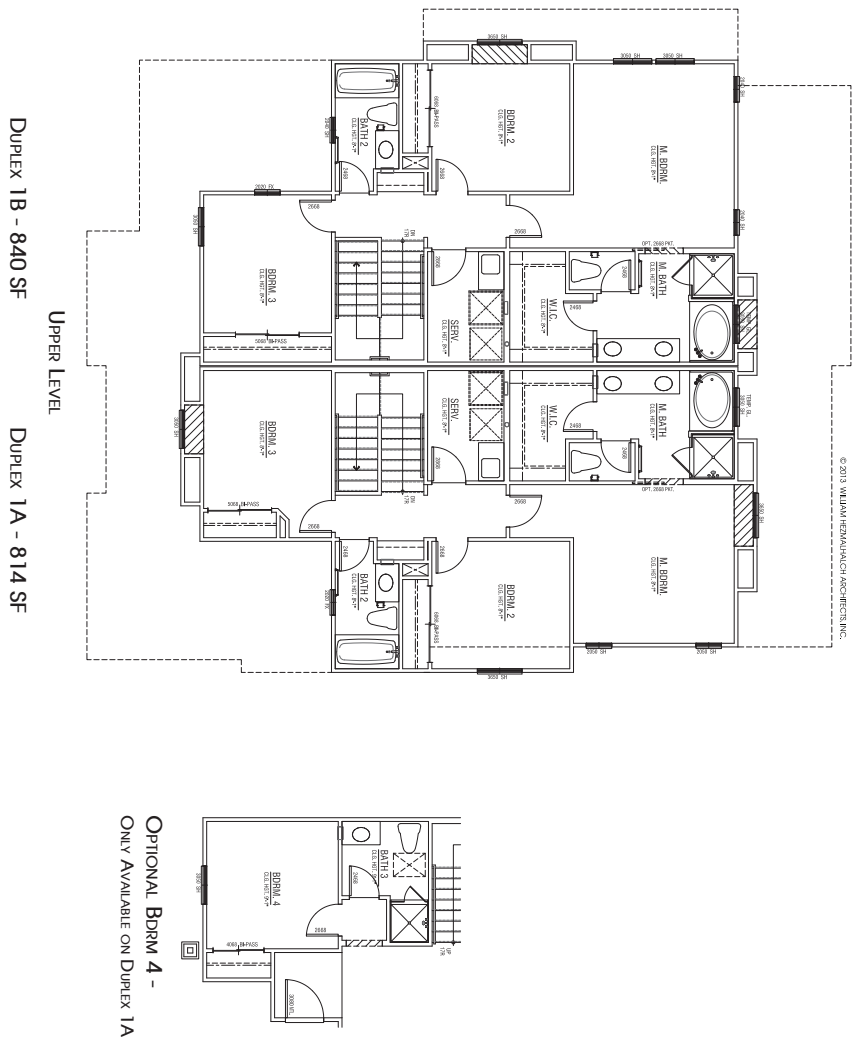
Duplex 1B - 1,619 SF
3 Bdrm/ 3 Bath/ Den/
Opt. Bdrm 4
2 Car Garage

Valencia & Woods FULLERTON

2011289 • 03-14-13

Conceptual Floor Plan
Duplex: Lower Level

A-1



Conceptual Floor Plan
Duplex: Upper Level &
OPTIONAL BDRM 4

A-2

Valencia & Woods
FULLERTON

20111289 • 03-14-13

WILSON PERALTA ARCHITECTS, INC.
10000 WILSON PERALTA ARCHITECTS, INC.
10000 WILSON PERALTA ARCHITECTS, INC.



Conceptual Front
Elevation
Duplex

0' 2' 4' 8'

A-4

Valencia & Woods
FULLERTON

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WILLIAM F. ENZMUNGER ARCHITECT, INC.
10000 WILSON AVENUE, SUITE 100
FULLERTON, CA 92630
(714) 771-1111
www.williamenzmunger.com

THE CITY OF FULLERTON
OFFICIAL SEAL
JULY 18, 1887
JULY 18, 1887



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Conceptual Elevations
Duplex

A-5

0 4 8'



Conceptual Elevations
DUPLEX

A-6

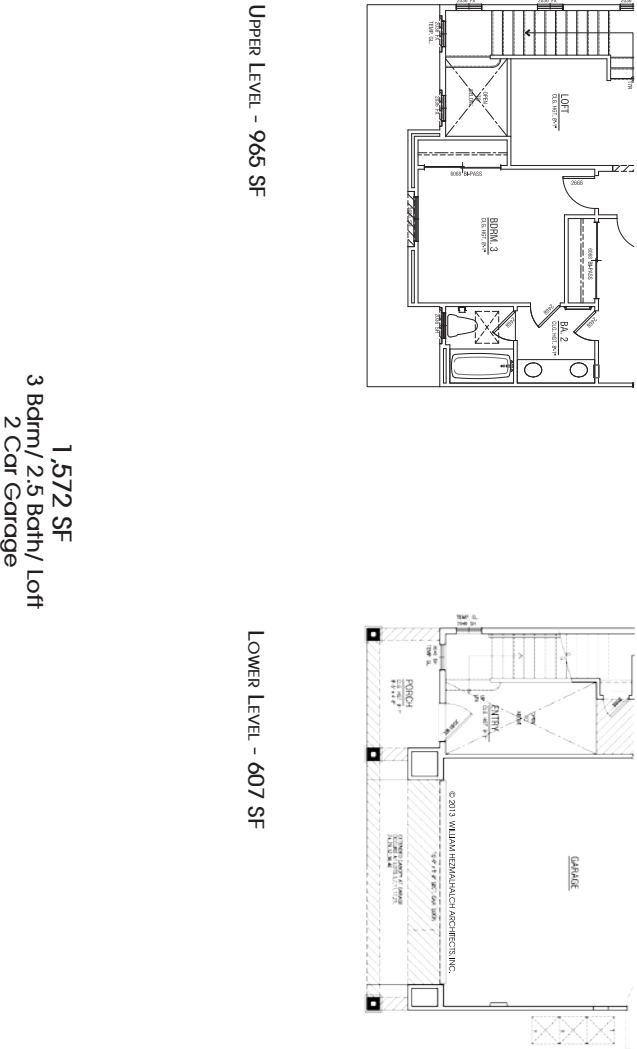
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ARCHITECTURAL
CONSULTING
INC.

WESTLYN
DESIGN
INC.

WESTLYN
DESIGN
INC.



1,572 SF
3 Bdrm/ 2.5 Bath/ Loft
2 Car Garage

Conceptual Floor Plan
Plan 1 Alt.

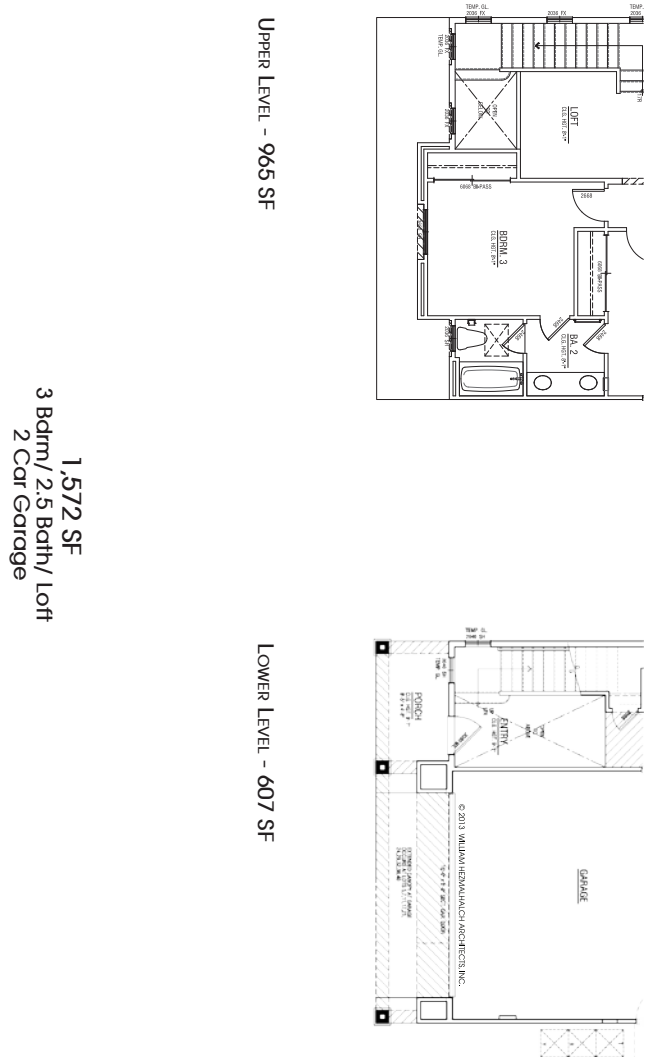
0' 2' 4' 6'

A-8

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FULLERTON

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WILLIAM HEDMANN ARCHITECT INC.
1000 S. GATEWAY BLVD., SUITE 100
FULLERTON, CA 92632
TEL: 714.241.1177
WWW.WHAM-ARCHITECT.COM



Conceptual Floor Plan
Plan 1 Alt.

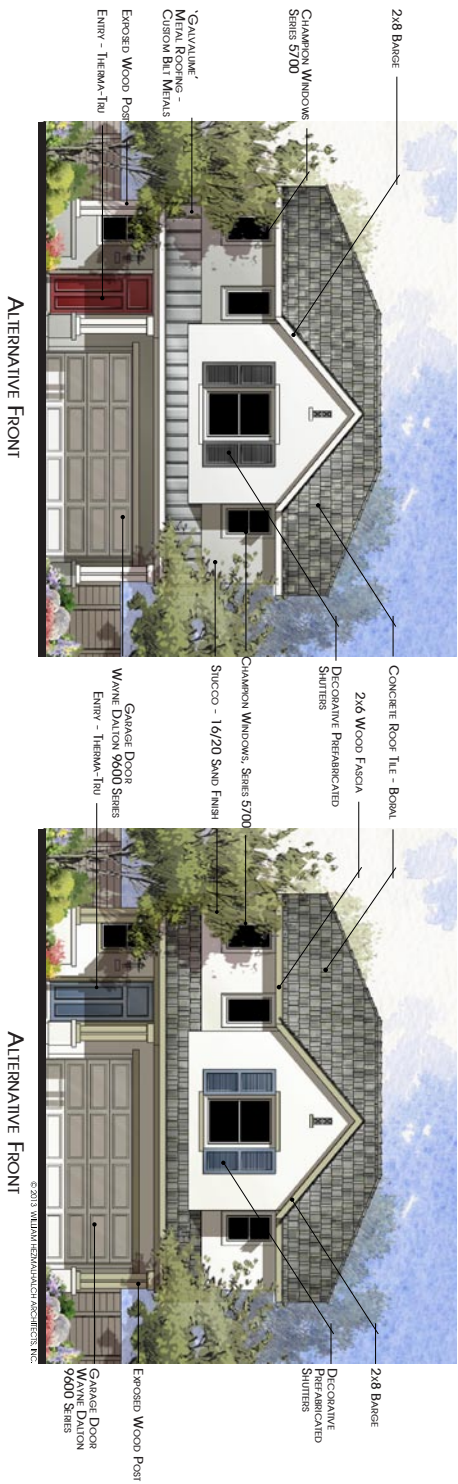
A-8

Valencia & Woods
FULLERTON

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WILSON HERRMANSCH
ARCHITECTS
P.C.
11111
11111
11111

THE
NATIONAL
CONSTRUCTION
COUNCIL



Conceptual Front Elevations
Plan 1

A-10

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Conceptual Elevations
Plan 1

A-11



ALTERNATIVE FRONT



ALTERNATIVE FRONT



ALTERNATIVE RIGHT

Conceptual Front Elevations:
Plan 1 Alt Fronts & Alt Right

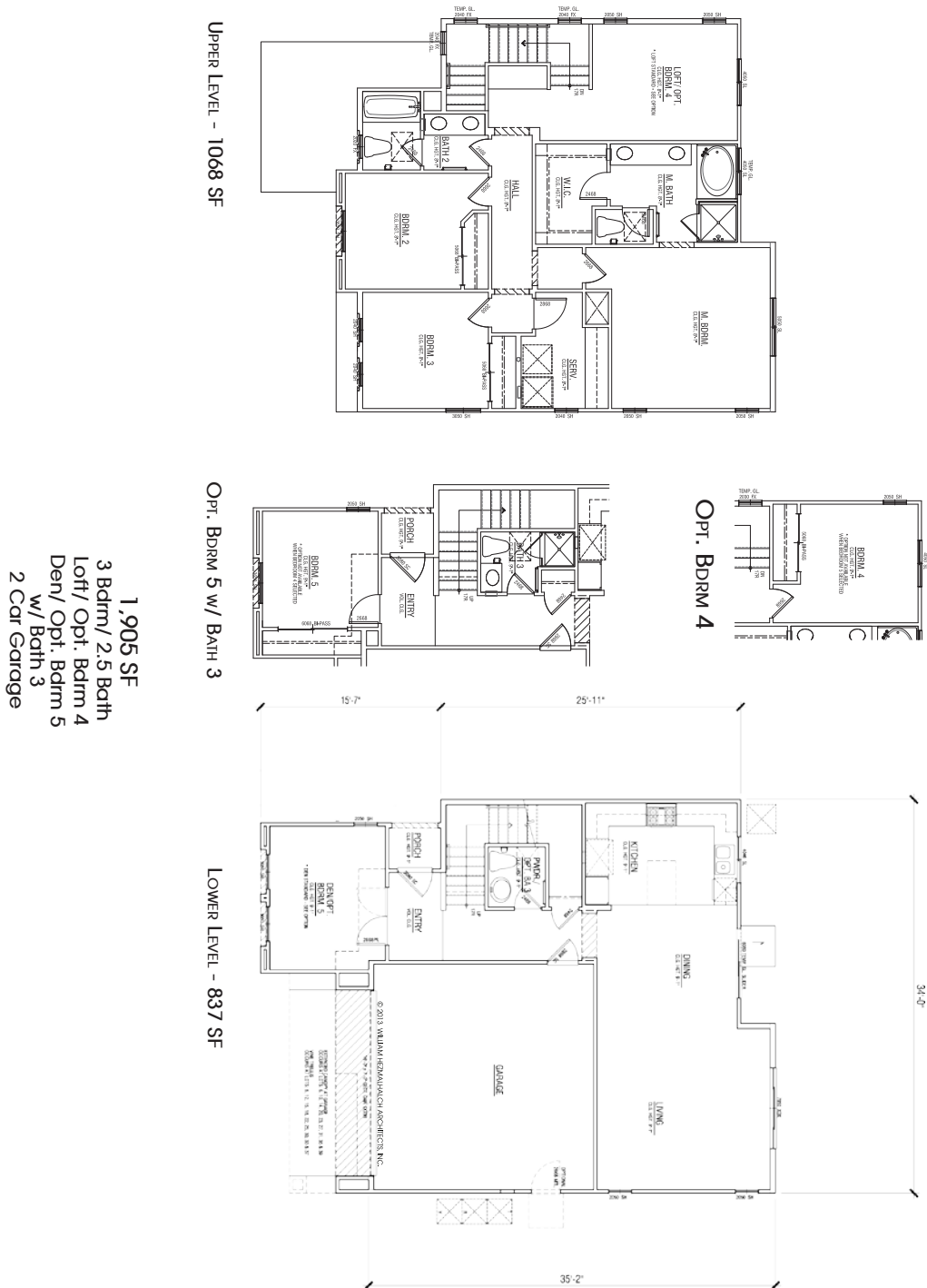
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0 2 4

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City of Fullerton
City Engineer
City of Fullerton
City Engineer
City of Fullerton
City Engineer

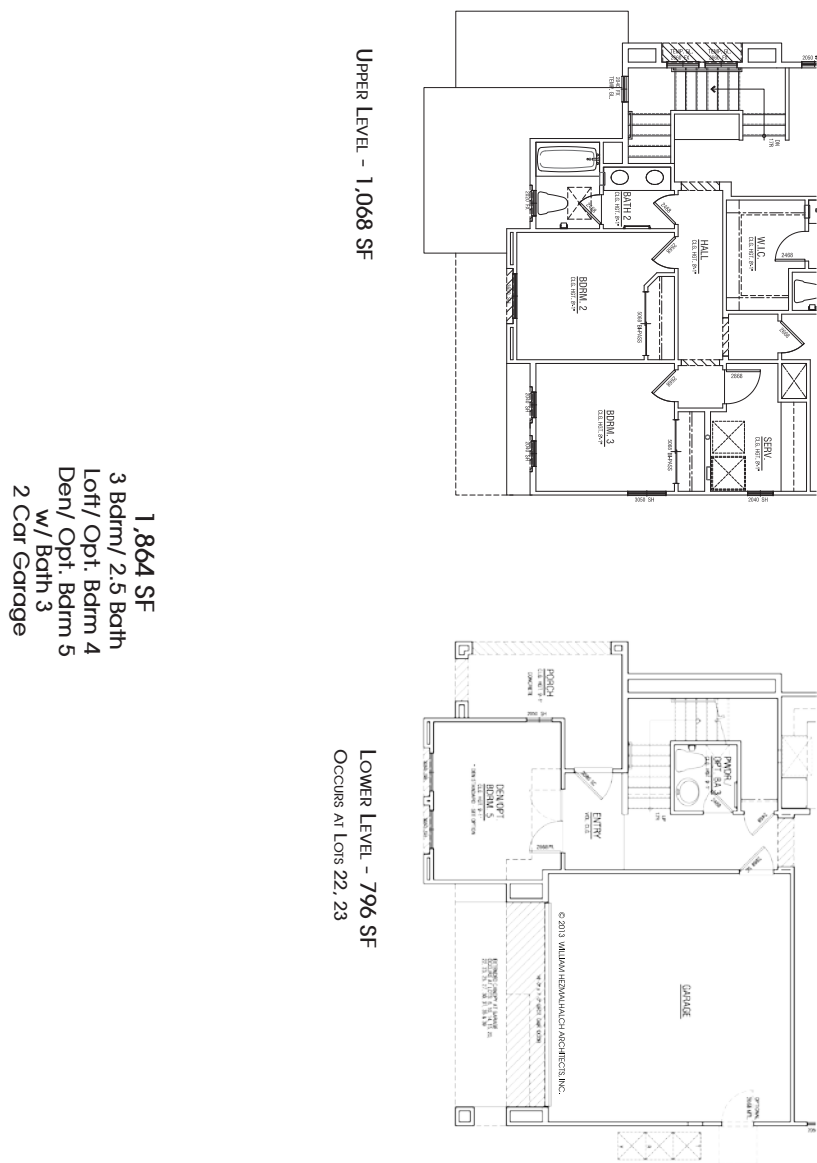


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Conceptual Floor Plan
Plan 2

A-13



Conceptual Floor Plan
PLAN 2 Alt. ENHANCED
COVERED PORCH

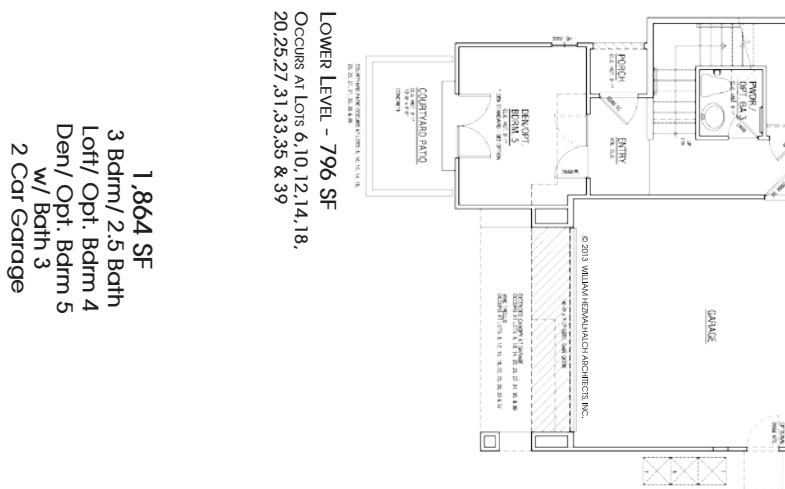
A-14

0 4 8

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Conceptual Floor Plan
PLAN 2 ALT. ENHANCED
COURTYARD PATIO

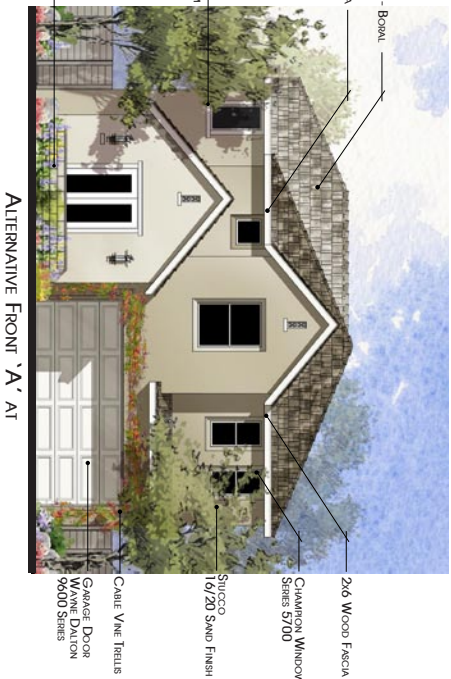
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0 5 10

THE CITY OF FULLERTON
PLANNING & COMMUNITY DEVELOPMENT
MAY 21, 2013

Valencia & Woods
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Conceptual Front Elevations
Plan 2

A-18

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FULLERTON

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Conceptual Elevations
Plan 2

A-19

0 2 4

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FULLERTON

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THE ANAHEIM CONVENTION CENTER
WILSON KENDRICK ARCHITECTS, INC.
ARCHITECT
10000 WILSON AVENUE, SUITE 100
FULLERTON, CA 92630
TEL: 714.241.1000
WWW.WKARCHITECTS.COM



ALTERNATIVE FRONT 'A' AT
COURTYARD PATIO



ALTERNATIVE FRONT 'A' AT
COURTYARD PATIO w/ VINE TRELLIS



ALTERNATIVE RIGHT
Occurs at Lots 6, 10, 12, 14, 18,
20, 25, 27, 31, 33, 35 & 39

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Conceptual Front Elevations:
PLAN 2 ALT. FRONT &
RIGHT AT COURTYARD PATIO

0 10 20 30

A-20

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MHA
MAY 21, 2013



ALTERNATIVE FRONT



ALTERNATIVE LEFT
OCCURS AT LOTS 22 & 23

Conceptual Elevation
PLAN 2 Alt. Front &
LEFT AT COVERED PORCH

A-21

0' 2' 4' 8'

Valencia & Woods
FULLERTON

2011289 • 03-14-13

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