

ST. JUDE MEDICAL CENTER REPLACEMENT PLAN

Specific Plan Amendment
City of Fullerton



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ST. JUDE MEDICAL CENTER REPLACEMENT PLAN Specific Plan Amendment

City of Fullerton

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Nonprofit Public Benefit Corporation
dba St. Jude Medical Center**
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1 INTRODUCTION

1.1 Purpose and Intent of Specific Plan

The St. Jude Medical Center Replacement Plan Specific Plan, hereafter referred to as either the "St. Jude Specific Plan" or "Specific Plan," is intended to provide for the orderly and efficient redevelopment of the St. Jude Medical Center (SJMC) in accordance with the provisions of the City of Fullerton General Plan. This Specific Plan establishes the planning concept, design framework, development regulations, design guidelines, and administrative procedures necessary to achieve coherent and orderly development of the subject property. The applicant/developer for this project is St. Jude Hospital, a California nonprofit public benefit corporation doing business as St. Jude Medical Center. The applicant/developer shall hereafter be referred to simply as "SJMC."

1.2 Authority

The State of California Legislature has established the authority and scope to prepare and implement Specific Plans. The State requires that all cities and counties in California prepare and adopt a comprehensive General Plan for

the physical development of their areas of jurisdiction. To implement the policies described in the general plan, regulating programs need to be adopted (e.g., zoning ordinance, subdivision ordinances, building and housing codes, etc.).

California State law authorizes cities with complete General Plans to prepare and adopt Specific Plans (Government Code § 65450 - § 65457). Local planning agencies or their legislative bodies may designate areas within their jurisdiction as ones for which a specific plan is “necessary or convenient” (Government Code § 65451).

Specific Plans are intended to serve as bridges between the local General Plan and individual development proposals. Specific Plans contain both planning policies and regulations, and may combine zoning regulations, capital improvement programs, detailed development standards, and other regulatory requirements into one document, which can be tailored to meet the needs of a specific area.

All future development plans, tentative parcel and/or tract map(s), and/or other similar entitlements for the St. Jude Specific Plan area shall be consistent with the regulations set forth in this Specific Plan and with all other applicable City of Fullerton regulations. Furthermore, all regulations, conditions, and programs contained herein shall be deemed separate, distinct, and independent provisions of the St. Jude Specific Plan. In the event that any such provision is held

invalid or unconstitutional, the validity of all remaining provisions of this Specific Plan shall not be affected.

1.3 Project Context

SJMC is located in the City of Fullerton, in north Orange County, California. As one of the largest cities in Orange County, Fullerton possesses a unique mix of residential, commercial, industrial, educational and cultural uses. The City was founded in 1887 by George and Edward Amerige, two former grain merchants from Massachusetts. The Ameriges named the town after George H. Fullerton who, working for the Pacific Land and Improvement Co., routed a link of the Santa Fe Railroad through the historic town providing excellent access and encouraging Fullerton to grow into a thriving community.

Regionally, the City is located approximately 22 miles southeast of downtown Los Angeles and 98 miles north of San Diego, in the center of north Orange County. The City occupies 22.3 square miles of land, and had an overall population of 134,500 in 2003. The Orange Freeway (State Route 57), which traverses the City in a north-south direction, and the Riverside Freeway (State Route 91), which borders the City to the south, both provide regional access. Refer to Exhibit 1.1, Regional Context.

The project site is located in the north-central section of Fullerton, bounded by Bastanchury

Road to the north, North Harbor Boulevard to the west and Valencia Mesa Boulevard to the south. Refer to Exhibit 1.2, Vicinity Map.

1.3.1 Surrounding Land Uses

Locally, the project area is surrounded by a mix of land uses. Recreational and open space uses in the vicinity include the Fullerton Golf Course to the north and northeast; the Fullerton Tennis Center to the south; and the Brea Dam Recreation Area to the south and east, which includes the Brea Dam. Medical and commercial uses are located to the west across N. Harbor Boulevard, to the south across Valencia Mesa Drive and on the north side of Bastanchury Road. Residential uses are located in the vicinity, but not directly adjacent to the hospital campus.

Fullerton Golf Course: This 18-hole, par 67 course includes a clubhouse, golf shop, driving range, restaurant and snack bar. The facility is located at 2700 North Harbor Boulevard in the City of Fullerton.

Fullerton Tennis Center: This public facility is operated by the City of Fullerton on leased land located at 110 East Valencia Mesa Drive. The facility provides 11 lighted tennis courts and the Leonard Andrews Pavilion.

North Orange County Family YMCA: This facility is located at 2000 Youth Way in Fullerton, just south of SJMC and Valencia Mesa Drive. The YMCA serves Fullerton, Brea, La Habra,

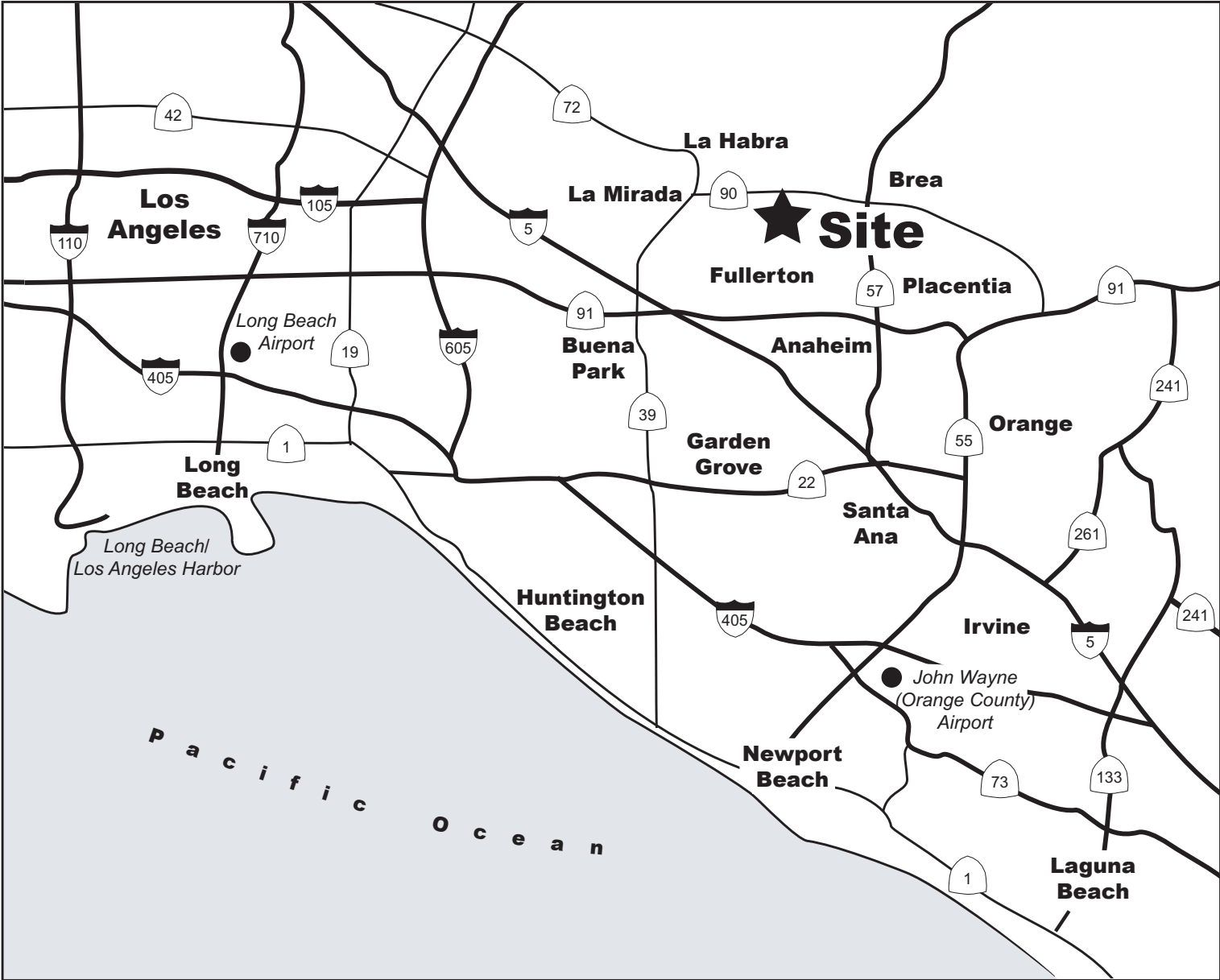


Exhibit 1.1, Regional Context

St. Jude Medical Center Replacement Plan

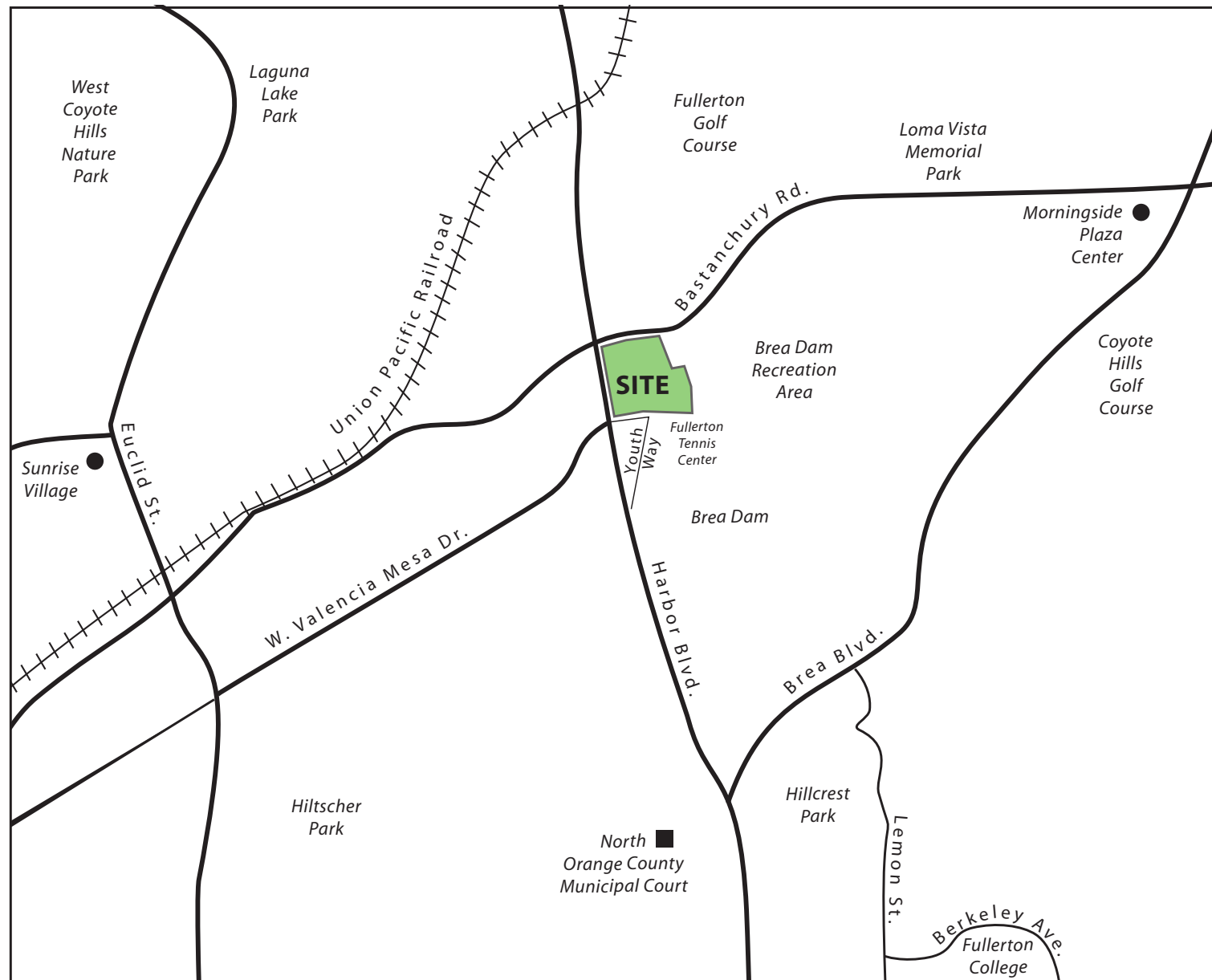


Exhibit 1.2, Vicinity Map



Buena Park, and surrounding areas. Programs include child care, youth and adult fitness/wellness, youth and adult recreational sports leagues, aquatics, teen clubs, tutoring, parent/child programs, camp, and a full fitness facility with pools.

Brea Dam Recreational Area: Encompassing an area of approximately 241.7 acres, the Brea Dam Recreational Area opened in 1960 and is located at 1600 North Harbor Boulevard. The recreation area provides for a variety of passive recreation uses. Guests can either picnic in the lower basin or follow the hiking trail to the Fullerton Tennis Center and the Fullerton Municipal Golf Course. Hikers can also take a detour on the Lost Trail, which leads to Trail Rest Park.

Brea Dam: The Brea Dam, constructed, operated and maintained by the U.S. Army Corps of Engineers, is a single purpose flood control project. The dam is located just upstream of the fork of Brea Boulevard and Harbor Boulevard. Construction of the dam began in July 1940 and was completed in March 1942. The dam, which is one of the units of the flood control project for the San Gabriel River Basin and Orange County, California, was conceived under authorization of the Flood Control Act of June 22, 1936.

The Dam controls approximately 22 square miles of drainage area of Brea Creek and its tributaries. Brea Creek generally flows southwesterly into the reservoir. Below the dam,

the creek flows southward through the central business district of the City of Fullerton, where it turns westward to join Coyote Creek, a tributary of the San Gabriel River. The dam consists of: (1) an earthfilled embankment; (2) a reinforced concrete outlet works; (3) an ungated outlet; (4) a detached spillway; (5) a saddle dike; and (6) a reservoir.

1.3.2 Project History

SJMC was established nearly fifty years ago by the Sisters of St. Joseph with the four core values of service, excellence, dignity and justice. The Sisters' roots are settled in the unique vision of a 17th Century Jesuit priest named Jean-Pierre Medaille. His vision called for an order of religious women who, rather than remaining safely confined in a convent, would venture out into the community, seek out "the dear neighbors" and minister to their needs.

During the ensuing centuries, the Sisters' congregation expanded throughout France and, eventually, throughout the world. In 1912, the Sisters, led by Mother Bernard Gosselin, arrived in Eureka, California with the intent of establishing a school. In the midst of their efforts, the influenza epidemic of 1918 struck the community and the

Sisters turned their focus to minister the sick in their homes. This led to the establishment of St. Joseph Hospital of Eureka in 1920, which was the first in a new health care ministry founded on this mission.

In 1921, Mother Bernard, foreseeing a potential lack of growth in their ministry given the difficulty in recruiting new Sisters from the area, elected to leave Eureka. The Church had greater need for her outside the Sacramento diocese, since most Catholic schools at the time were located in Southern California. By 1922, the Sisters were teaching in several Southern California areas and recognized that the community could better develop its ministries by moving the Motherhouse (central headquarters) to Orange where the Sisters already owned land.



Mother Bernard tending to the garden on the Eureka grounds.



Monsignor Lawrence Kennedy and the Eureka pioneer Sisters. From left to right: top row, Sisters Ursula Patricia, Mary Joseph Laurentia and Immaculata; middle row, Mother Bernard, Monsignor Kennedy, and Sister Francis; bottom row, Sisters Elizabeth and Isabelle.

St. Jude Medical Center Replacement Plan

During this period of transition, Mother Bernard ended her term as General Superior. Her successor as General Superior was Mother Mary Francis of Assisi Lirette. Mother Bernard had already established a vision for a new hospital in Orange County to be named for Saint Joseph. However, Mother Mary Francis had a grander vision in mind for the new hospital, which was the first such facility to be constructed by the Sisters solely from scratch. The exterior of the new hospital was to be designed in the popular Mission-style of architecture with two distinctive twin towers crowned by domes with crosses. In 1929, the Sisters opened St. Joseph Hospital in Orange, acclaimed by the local medical society as the first modern hospital in the county. For



St. Joseph Hospital of Orange

many years, the six-story towers were the tallest structures in Orange County.

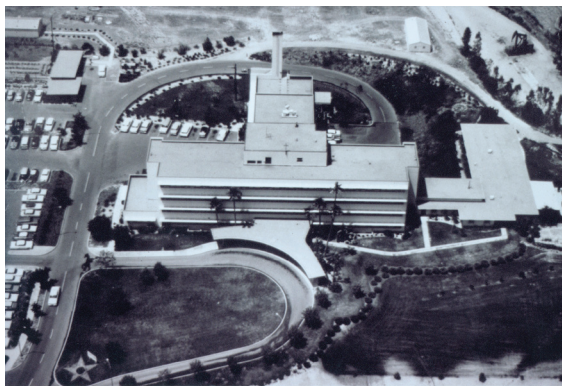
During the 1930s, the Sisters opened Fullerton General Hospital in the influential northern Orange County suburb of Fullerton, California. After several decades of continuous use and significant advances in medical care, Fullerton

General Hospital required significant updating to stay competitive. As a result of the astronomical cost of updating the entire Fullerton General Hospital, and since the hospital did not meet the building codes in effect at that time, the Sisters opted to build an entirely new hospital - St. Jude Medical Center.



Mother Mary Francis of Assisi Lirette

Construction of the new hospital began on a 7.5-acre site in 1953, and the site later expanded to its current size. The new state-of-the-art Medical Center opened its doors to patients in 1957 as a not-for-profit facility. Sister Jane Frances Power was appointed as the first Administrator for St. Jude.



St. Jude Medical Center in 1957



Sister Jane Frances Power,
St. Jude's first Administrator

Sister Jane Frances was very familiar with hospital operations, since she had been everything from a medical record technician to a radiology technician. In 1964, she became president of the Southern California Hospital Council.

By the early 1970s, the Sisters were operating the eight hospitals of the St. Joseph of Orange chain. By 1973, Sister Jane Frances Power was appointed Hospital Coordinator. This position required her to serve as the liaison person with local, state and national healthcare organizations and agencies, and to be a consultant to all of the hospitals owned by the Sisters.



St. Jude Medical Center in the late 1970s

One of Sister Jane Frances' most enduring legacies included her efforts to help reform and transform American medicine including implementation of a variety of programs. One of the programs

involved streamlining and minimizing the enormous amount of record-keeping necessary at a modern hospital through the use of data processing. She also organized the hospitals into a much closer-knit, cohesive unit. The ultimate effect of this would be the formulation of the St. Joseph Health System, which operates all of the hospitals today. For a short time, Sister Jane Frances served as the President of the Health System, which by then had grown to ten hospitals.

1.3.3 The Hospital in 2004

The ministry of Sisters is known as the St. Joseph Health System (SJHS), which includes the SJMC as one of 12 hospitals in California. SJHS is organized into three regions (Northern California, Southern California and West Texas/Eastern New Mexico) and provides a broad range of medical services. SJHS consists of 15



Aerial View of St. Jude Medical Center from Northeast (1994)

acute care hospitals (including SJMC), as well as home health agencies, hospice care, outpatient services, skilled nursing facilities, community clinics and physician organizations.



Aerial View of St. Jude Medical Center from Southwest (1994)

SJMC is comprised of a variety of services/programs, including the St. Jude Heart Institute, the Virginia K. Crosson Cancer Center, the Centers for Rehabilitation, the St. Jude Breast Center, and The Knott Family Endoscopy Center. In addition, it includes a center for Women and Children Services.

In 2004, the main SJMC campus encompassed 14 acres and accommodated 333 licensed beds and a total of 355,603 Building Gross Square Feet (square feet), equivalent to 1,068 square feet per bed. Approximately 10% of the rooms were singles/private; the remaining 90% are doubles/semi-private. The facility provided

on-site parking for 1,474 automobiles, including the new East Parking Structure.

1.3.4 The Hospital Today (2010)

Today, as in 2004 the main SJMC campus encompasses 14 acres. The SJMC accommodates 384 licensed beds and a total of 468,893 square feet, equivalent to 1,221 square feet per bed. The facility currently provides on-site parking for 1,222 automobiles.

The St. Jude Medical Center Replacement Plan Specific Plan was adopted by the City Council in October 2004. Since 2004, a number of factors have changed regarding health care needs, costs, and operations, leading SJMC to consider changes in the way the Replacement Plan is implemented. Currently, SJMC is in the process of undertaking the Replacement Plan of Acute Care buildings and is modifying the way in which the Replacement Plan is executed in Phase 2. SJMC is seeking to amend the 2004 adopted Specific Plan to allow the modifications to Phase 2 and consequently to Phases 3 and 4.

1.3.5 Seismic Safety

Except for an admitting/outpatient services building (3,500 square feet total), all existing campus buildings on the SJMC campus are "collapse hazard" buildings. Senate Bill 1953 (SB 1953) is an amendment to the Alfred E. Alquist Hospital Seismic Safety Act of 1983 (Alquist Act). Shortly after the January 17, 1994

Northridge Earthquake, then-Governor Wilson signed State Senate Bill (SB) 1953 into Law. The new regulations went into effect January 1, 1995 and were published in late 1998.

The ultimate public safety benefit of the Alquist Act is to have general acute care hospital buildings that not only are capable of remaining intact after a seismic event, but are also capable of continued operation and provision of acute care medical services after the seismic event. Essentially, each hospital building built prior to 1973 is required to be structurally upgraded or removed from service prior to 2008. This deadline was later extended to 2013 for a qualifying hospital.

California's Office of Statewide Health, Planning and Development (OSHPD), which administers SB 1953, has granted SJMC a five year extension to the January 1, 2008 seismic compliance deadline. By January 2013, all non-structurally compliant acute care buildings unable to withstand a significant seismic event, must be upgraded and/or replaced with structurally compliant acute care buildings with the capacity to operate for 72 hours subsequent to a seismic event. In addition, all general acute care hospital buildings must be in substantial compliance with the Alquist Act by 2030. Buildings that are not upgraded to the full requirements under the Alquist Act may not be used for acute care beyond 2030.

SJHS has 12 hospitals in California with a total of 93 acute care buildings. Twenty-five of their buildings require structural upgrades relative to SB 1953 prior to 2008. SJHS undertook an extensive master planning effort and in 1998, engaged NBBJ to prepare an intensive 15-month long study. The goal of the master plan was to develop a planning and implementation strategy that was timely, code compliant, and sensitive to the immediate and long term needs of each entity. The St. Jude Medical Center Replacement Plan project is a direct result of that master plan effort.

1.3.6 Hospital Size Determination

Hospitals in California are sized according to the demand for healthcare services in the areas of population that they serve. In general, hospitals are sized by the number and types of beds they must accommodate and by the number of diagnostic and treatment procedures or "functional units" that must be provided for their members (i.e., number of surgeries, x-rays, births, lab test, visits to Emergency Department, etc.) Outpatient facilities are similarly sized by the number of visits to physician's offices and related tests and procedures that will be provided.

Once the basic number of beds, tests, and procedures is determined, historical experience can help to refine the determination of space needs and the size of the hospital. The only California industry standards for determining

hospital size are the State of California Title 22 and 24 Regulations, which define the minimum sizes of many key "functional units."

Because every hospital offers different services meeting a variety of community needs and sizes, virtually no two hospitals are the same. There is no common data base of established historical hospital sizes because area calculations and record keeping have not been consistent. Modern Healthcare Magazine annually surveys healthcare construction design projects and quantifies total US hospital square footage, but does not track square footage as it relates to bed size. Some large architectural/engineering firms and planning consultants keep historical records of project sizes, that can be combined with industry trends, the impact of aging population, the advance of medical technologies, geographical markets, as well as consumerism (the ever increasing expectations of the clients) to determine the hospital program and design.

1.3.7 St. Jude Medical Center Size Determination

Determining the appropriate size for the SJMC was accomplished through a scientific approach based on workload analysis and forecast to (1) Identify near and long term demand for services, and (2) Translate those demands into quantifiable space requirements. In addition to the extensive data base as a planning resource, the following key steps and considerations were taken for the hospital specifics:

- An analysis of demographics and a forecast of Orange County population growth based on data from the State of California Department of Finance (DOF) and the Southern California Association of Governments (SCAG).
- A competitors profile study.
- An analysis of SJMC's historical trends based on Office of Statewide Health Planning and Development (OSHPD) data.
- A review of local and regional market factors and demand.
- An analysis of the potential impacts of technological advances or changes in health care practices.

The square footage per bed/bed number has increased significantly since the SJMC was originally built in the 1950s for a variety of reasons. Based on an overall 2030 target bed capacity of 512 beds, the proposed square footage of 1,837± sq. ft./bed by SJMC is very reasonable when compared with other similarly sized facilities. Hospitals have been increasing in sq. ft./bed at a rapid rate over the past 10-15 years because:

- Improvements in health care allow for treatment of serious conditions that require more medical equipment in patient rooms (larger rooms).

- Of current trends towards all private rooms instead of two-bed or multiple-bed wards to increase patient satisfaction.
- Infection control that discourages setup of multiple-bed patient rooms.
- More space is required for specialty units and departments.
- Advances in medical technology require new rooms and larger rooms for specialized equipment (larger operating rooms, CT Scanners, MRIs, etc.).
- More procedures and treatment spaces are consolidated under one hospital campus.
- Licensing and building code requirements require more space per bed for circulation, treatment, and operation.
- Additional of the need for additional staff support space.
- Families participate in more patient care and stay overnight in patient rooms (larger rooms).

1.4 The Sisters' Healthcare Philosophy

To understand the healthcare philosophy of the Sisters of St. Joseph and SJHS, it is helpful to understand the eight major points of this philosophy (paraphrased below):

- That life is a gift from God, sacrosanct from conception to death;

- That all the persons associated with the Sisters in healthcare service are also part of Christ's healing mission, and, as such, should be treated in a respectful and dignified manner;
- That technology should never overwhelm the compassionate side of healing, that Christ loved all earthly life, and that deviation from this ethic in the name of technology is contrary to Catholic morality;
- That the hospital facility has the right and responsibility to promote its moral position in the Community it serves;
- That the Community can be improved by this position;
- That the hospital in so serving the Community, becomes part of the larger society, and thus can bring the good news found in the Gospels to all parts of the nation and the world;
- That all employees must adhere to moral, professional and institutional standards; and
- That the spiritual dimension of both patients and employees is the most important part of the healing process.

1.5 Project Objectives

Based on the Sisters' healthcare philosophy, ongoing advances in medicine and technology, current market considerations, projected healthcare trends, and City of Fullerton needs

and considerations, SJHS and SJMC have identified the following objectives for the SJMC Replacement Plan Project:

- To continue to meet the mission of the Sisters of St. Joseph of Orange, SJHS, and SJMC.
- To ensure that the local community has access to the best medical services/facilities and the most up-to-date advances in health and wellness care.
- To respond to ongoing trends in the health care industry encouraging transition from a health care provider focus to a more patient-centric health care model.
- To provide for the orderly transition of existing medical services, while undergoing the necessary seismic retrofitting to meet State earthquake standards.
- To ensure consistency with the City of Fullerton General Plan, Municipal Code, and all other relevant City standards.
- To strengthen and enhance SJMC's existing programs and services and provide additional space for expansion of staffing and for new and developing services, programs, and technologies.
- To develop pleasing and functional architectural, landscape architectural, and signage/wayfinding design guidelines that will ensure consistently high quality development.
- To ensure that SJMC continues to provide employment opportunities in the City of Fullerton.

1.6 Required Entitlements

Approval/certification of the following actions was required to implement the proposed project:

- **General Plan Revision:** The General Plan designation for the site was Office (O) as depicted in Exhibit 1.3, Existing General Plan Designation. No change in the Office land use designation was required. However, a General Plan Revision (GPR) was required to accommodate the proposed St. Jude Medical Center Replacement Plan project. The GPR: (1) modified Table LU-4 in the General Plan to allow the Cap floor area ratio (F.A.R.) to increase from 0.700 to 1.700; (2) reclassified the Recreational Trail in the Fullerton Tennis Center (west of the Brea Dam) from "Regional Trail" to "Connector Trail" as discussed in the Resource Management Element and Exhibit RM-2 of the General Plan; (3) reclassified the Bikeway on Valencia Mesa Drive from Harbor Boulevard to the Brea Dam from Class I and II to a Class II Bikeway as shown on Exhibit C-6 in the Circulation Element of the General Plan; and (4) removed the segment of the Class II Bikeway on N. Harbor Boulevard between Valencia Mesa Drive and Bastanchury Road as shown on Exhibit C-6 in the Circulation Element of the General Plan.
- **Specific Plan:** This Specific Plan is designed to provide guidance to City staff and decision makers and SJMC in realizing the objectives of the proposed project as defined above.

This document includes the land use and development standards, design guidelines, infrastructure needs, implementation strategies to fully implement the St. Jude Medical Center Replacement Plan Project. The Specific Plan was adopted by the City of Fullerton City Council by ordinance #3058 in October of 2004.

- **Zoning Amendment:** As part of the entitlements required for the St. Jude Medical Center Replacement Plan project, the existing Office Professional (O-P) zoning classification was changed to a Specific Plan District (SPD) designation. To ensure that the Replacement Plan Project is properly implemented, the Specific Plan document contains new zoning standards for the property, which includes Permitted Uses and Development Standards that apply only to the St. Jude project site. Refer to Exhibits 1.4, Existing Zoning Designation, and 1.5, Proposed Zoning Designation. As part of the Specific Plan, the Zoning Amendment was adopted by the City Council by ordinance #3058 in October of 2004 .
- **Site Plan Approval:** Approval of a Site Plan was and will be required for each phase (i.e., Phases 1, 2, 3, and 4) pursuant to the procedures described in Chapter 5 of this Specific Plan. Approval of a Grading Plan was and will be required in conjunction with Site Plan Approval for Phases 1, 2, 3, and 4.
- **Mitigated Negative Declaration:** A Mitigated Negative Declaration (MND)

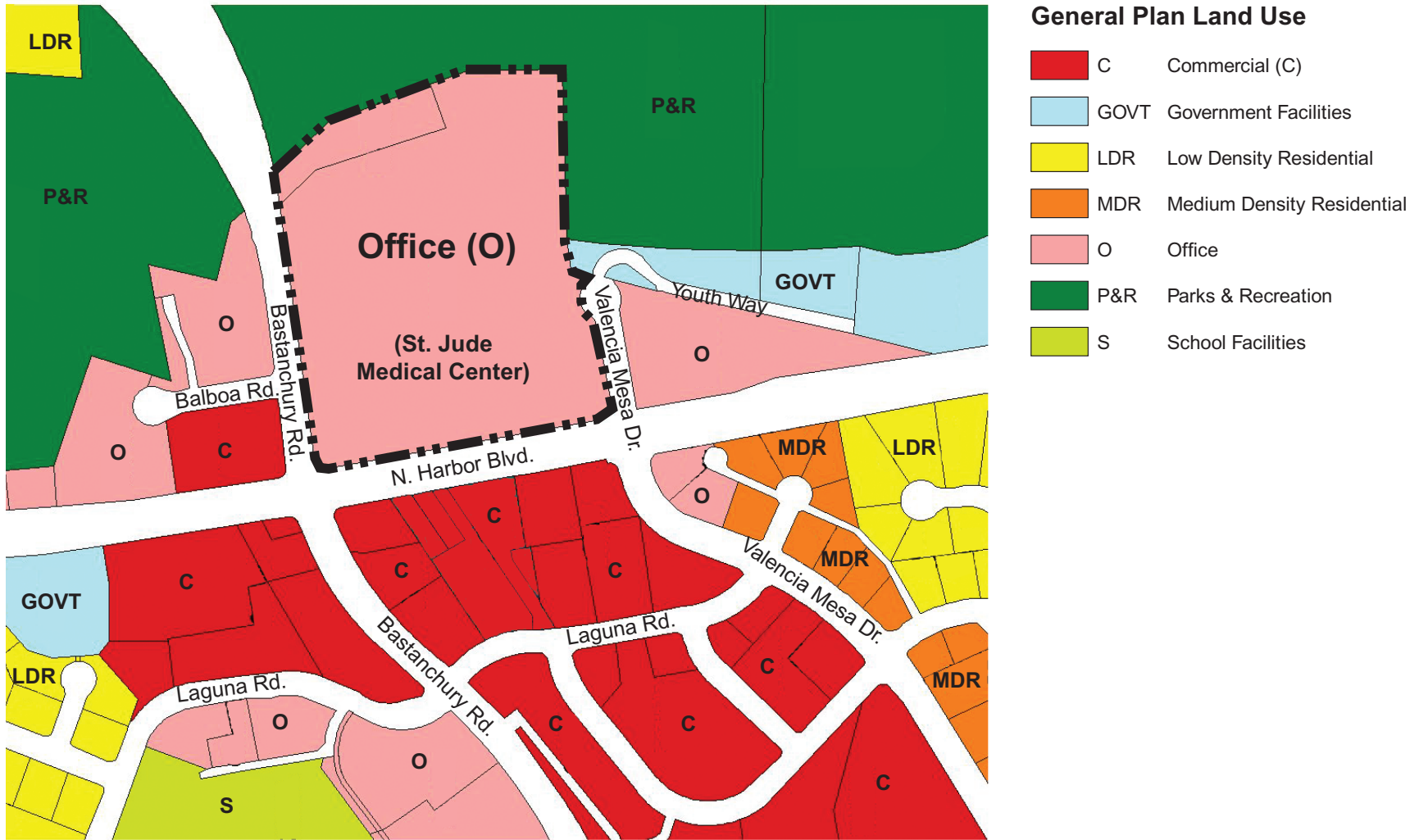
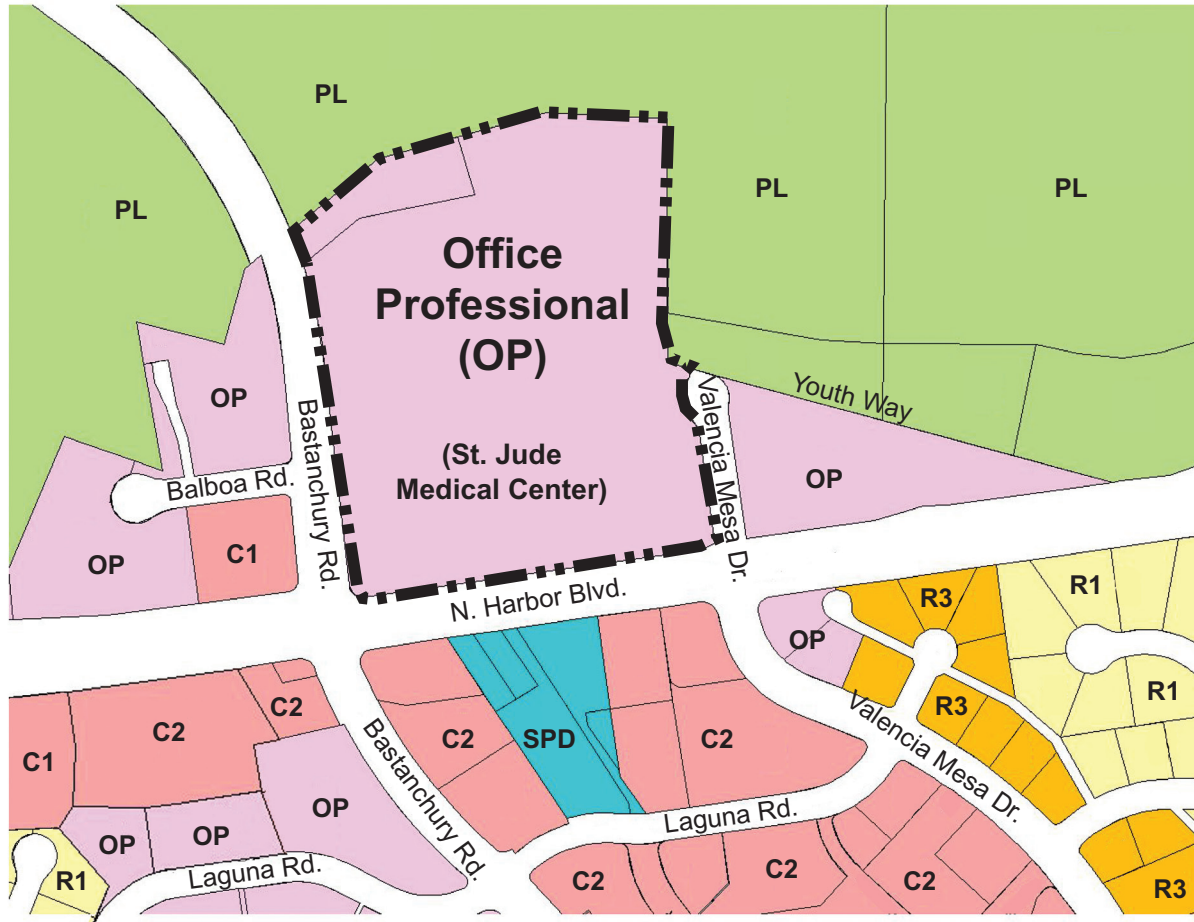


Exhibit 1.3, Existing General Plan Designation

St. Jude Medical Center Replacement Plan



Zoning Classifications








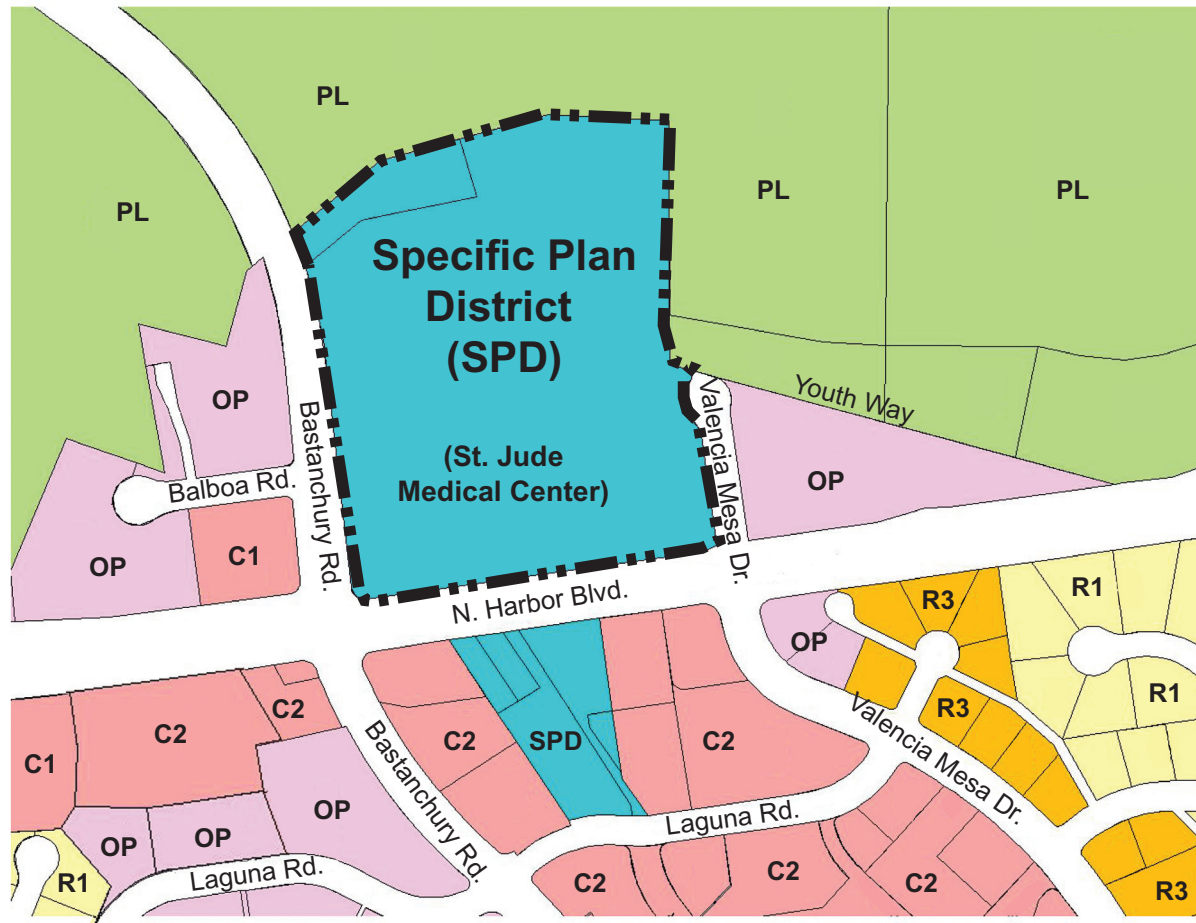
	C1	Limited Commercial
	C2	General Commercial
	R1	Single-Family Residential
	R3	Limited-Density, Multi-Family Residential
	OP	Office Professional
	SPD	Specific Plan District
	PL	Public Land

Exhibit 1.4, Existing Zoning Designation



Zoning Classifications

C1	Limited Commercial
C2	General Commercial
R1	Single-Family Residential
R3	Limited-Density, Multi-Family Residential
OP	Office Professional
SPD	Specific Plan District
PL	Public Land

Exhibit 1.5, Proposed Zoning Designation

was required to analyze the potential environmental impacts of the project and include measures to mitigate all of said impacts to below a level of significance. The MND was approved by the City Council in October of 2004.

- **Approval of a Mitigation Monitoring and Reporting Program:** A Mitigation Monitoring and Reporting Program was required to ensure that the required mitigation measures are implemented in a timely manner and with an organized, well-documented approach.
- **Development Agreement:** The Applicant processed a 30-year Development Agreement in conjunction with the Specific Plan, General Plan Amendment and Zoning Amendment requests. The Development Agreement covered the entire 14.19-acre project site and was approved by ordinance #3059.
- **Demolition Permits:** A demolition permit is required from the City of Fullerton for each structure or group of structures to be demolished in order to allow for construction of the new medical and support buildings to proceed. Demolition permits are anticipated to be required in three of the four phases (i.e., Phases 2, 3, and 4) identified in this Specific Plan. No demolition permit was required in Phase 1.
- **Grading and Building Permits:** Grading and building permits, as needed, were to be obtained from the City or Office of Statewide

Health Planning and Development (OSHDP), as appropriate, for each phase (i.e., Phases 1, 2, 3, and 4) independently.

- **NPDES Permit:** A National Pollutant Discharge Elimination System (NPDES) Permit was and is required from the Santa Ana Regional Water Quality Control Board (RWQCB).
- **Encroachment Permit (U.S. Army Corps of Engineers):** The Brea Dam Recreation Area is owned by and under the jurisdiction of the U.S. Army Corps of Engineers (USACE). The USACE leases the Fullerton Tennis Center to the City of Fullerton. Any development infringing upon USACE land shall require discretionary approval by the USACE to encroach upon the USACE property for construction purposes associated with the SJMC Replacement Plan Project.
- **Encroachment Permit (City of Fullerton):** An Encroachment Permit from the City of Fullerton was required to construct improvements on a portion of the leasehold property in the Brea Dam Recreation Area. The Encroachment Permit is to be issued by the City once SJMC provides the City with the necessary assurances that construction associated with the proposed project will not impede access to or usability of the Fullerton Tennis Center or other facilities in the leasehold area. A Construction Phasing Plan was to be submitted to and approved by the City (including the Community Services

Department) prior to any permits being issued to allow construction to occur in the Fullerton Tennis Center.

- **OSHDP Approvals:** The Facilities Development Division (FDD) of OSHDP is responsible for reviewing and inspecting health facility construction projects. The FDD enforces building standards as published in the California Building Standards Code as they relate to health facilities construction. The FDD has formed the Seismic Retrofit Program Unit, comprised of structural engineers and architects, which is responsible for reviewing and approving the seismic evaluation reports and compliance plans as they are submitted to OSHDP.
- **Specific Plan Amendment:** A Specific Plan Amendment is required for any proposed changes to the Specific Plan that substantially alter the Site Plan(s) contained herein and will be processed pursuant to provisions contained in Government Code Section 65453 and Section 15.76 of the Fullerton Municipal Code.



2 PLAN SUMMARY

In order to meet the seismic safety compliance requirements for acute care buildings, as well as the forecasted needs and demands for the St. Jude Medical Center (SJMC), replacement and enhancement of the existing hospital facilities will be necessary. The St. Jude Medical Center Replacement Plan Project proposes incremental improvements to the existing facilities through 2030 in response to the projected demand for medical services.

2.1 Development Overview

According to needs and demands forecasts provided in the St. Joseph Health System Master Plan - St. Jude Medical Center study (NBBJ Architects and Planners, August 2002), it was anticipated that there will be a need for approximately 500 beds, with an anticipated occupancy rate of 83%, by 2020. The study also anticipated that the demand for inpatient and outpatient surgical workloads will continue to increase significantly during the same period. Correspondingly, SJMC de-emphasized outpatient demand in the Master Plan and

initiated the process of moving some of the outpatient services off-site.

To meet this projected demand for medical services, the St. Jude Medical Center Replacement Plan was prepared, which will result in a total of 512 licensed beds and 940,624 square feet of hospital space, which is equivalent to 1,837 square feet per bed. Of the total 512 licensed beds, approximately 70% were anticipated to be single / private rooms, while the remaining 30% of the rooms were anticipated to be double / semi-private. In addition, a total of 1,524 parking spaces were to be provided on-site at project build-out in 2030.

The St. Jude Medical Center Replacement Plan Project will occur in four (4) phases as detailed in this Chapter. Improvements to the project area will restructure the existing facility into four wings (i.e., Southwest, Southeast, Northwest and Northeast) and include associated modifications to the site's access, circulation, and parking. Phase 1 of the plan has been approved and already built.

2.2 Circulation Plan

The circulation concept for the project consists of a system of private accessways and drives that connect the various buildings and uses on-site to the surrounding public streets, as depicted in Exhibit 2.1, Circulation Plan. Prior to installation of these improvements, site access is available to the SJMC campus via Bastanchury Road to the

north and Valencia Mesa Drive to the south. No direct vehicular access exists on North Harbor Boulevard.

2.2.1 Vehicular Circulation

As shown in Exhibit 2.1, the Circulation Plan for the St. Jude Medical Center Replacement Plan project will consist of several private drives connected to the existing surrounding public streets. The Circulation Plan consists of the following major components:

- **Bastanchury Road** is designated as a major arterial (ultimate 110-foot right-of-way width) and is a six lane, divided highway running in an east-west direction and bordering the site to the north (see Exhibit 2.2a, Street Cross Sections).
- **North Harbor Boulevard** is designated as a major arterial highway with an ultimate right-of-way width of 113 feet, including six lanes, divided. This street borders the project site to the west and runs in a north-south direction (see Exhibit 2.2a, Street Cross Sections). There is also an ultimate condition with a right turn lane onto Bastanchury Road.

A dedicated northbound right turn lane shall be required at the intersection of N. Harbor Boulevard and Bastanchury Road at such time as turning movement volumes are forecast to exceed 400 vehicles per hour in the AM or PM peak hour or when on-site construction requires modifications to

existing retaining walls along N. Harbor Boulevard, whichever comes first. This new northbound right turn lane may be constructed on SJMC property and SJMC may be requested to dedicate the required right-of-way to the City of Fullerton.

Notwithstanding anything to the contrary set forth herein, and in exchange for a waiver by the City of all traffic impact mitigation fees relating to the Project (including, without limitation, all fair share fees used to assist in the financing of mitigation of traffic improvements required for implementation of the City's General Plan Circulation Element). SJMC shall be responsible for the reasonable cost of the right turn lane on N. Harbor Boulevard at Bastanchury Road.

- **Valencia Mesa Drive** is a local street with an ultimate 64-foot right-of-way width, including two travel lanes. This street partially borders the site to the south, and runs in an east-west direction. The street dead-ends in a cul-de-sac that provides dual access to both St. Jude Medical Center and the Fullerton Tennis Center. Access to the landscape improvements. Approximately 15,340 cubic yards of earth will be moved during grading operations. It is anticipated the earth movement can be accommodated on-site without necessitating any export. Detailed grading plans shall be submitted to the City for review and approval by the Engineering Department prior to the start of each development phase.

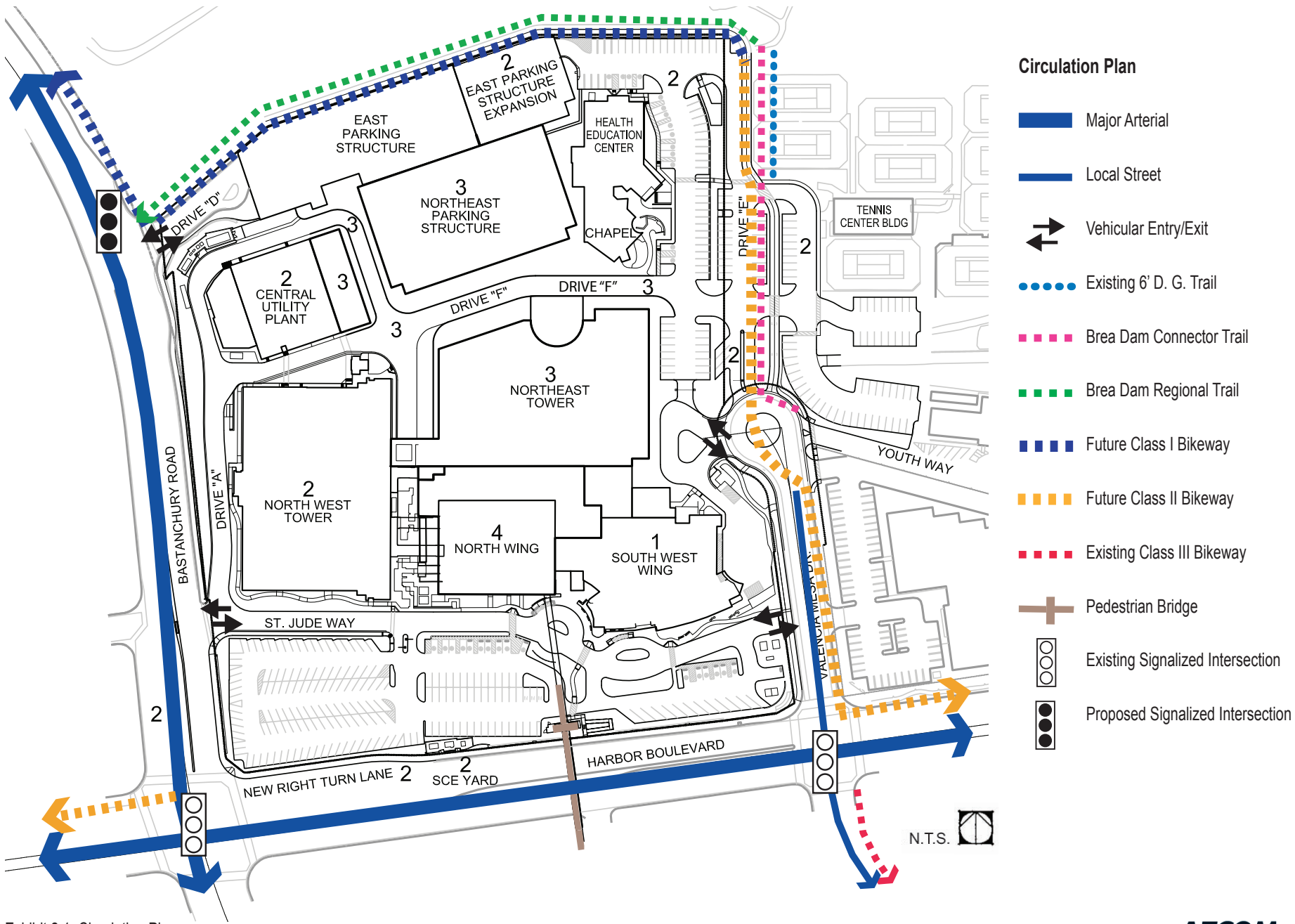
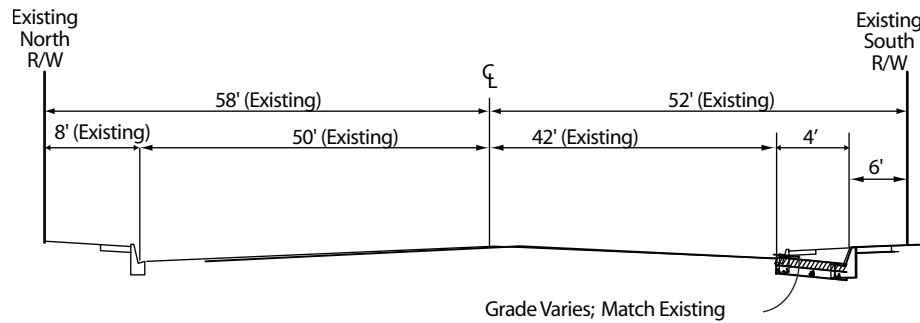


Exhibit 2.1, Circulation Plan

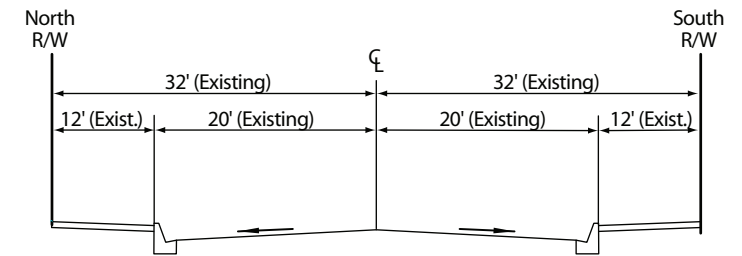
St. Jude Medical Center Replacement Plan

- **St. Jude Way** is the site's primary private drive that provides entry to the project site from Bastanchury Road to the north. This drive, which is right-turn-in/right-turn-out only, runs in a north-south direction through the project site, passing by the hospital's main entrance in the North Wing and connecting Bastanchury Road with Valencia Mesa Drive. The ultimate right-of-way width of St. Jude Way will vary from 20 to 30 feet (see Exhibit 2.2a, Street Cross Sections).
- **Private Drives:** In addition to St. Jude Way, there are four (4) other private drives planned on-site: Drive "A" (east-west drive parallel to Bastanchury Road along the

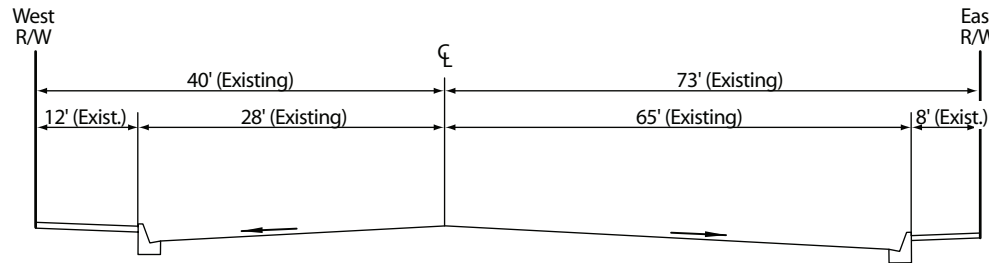
Northwest Tower), Drive "D" (entry drive to the East Parking Structure from Bastanchury Road), Drive "E" (east-west drive along the southern portion of the campus connecting Valencia Mesa Drive to the East Parking Structure expansion), and Drive "F" (north-south drive connecting Drive "A" to Valencia Mesa Drive). Drive "C" was an optional interim driveway and interim deceleration lane that was not constructed. The proposed private drives will be undivided roads with varying pavement widths and at least one travelway in each direction. Cross sections of each drive have been provided in Exhibit 2.2b, Street Cross Sections.



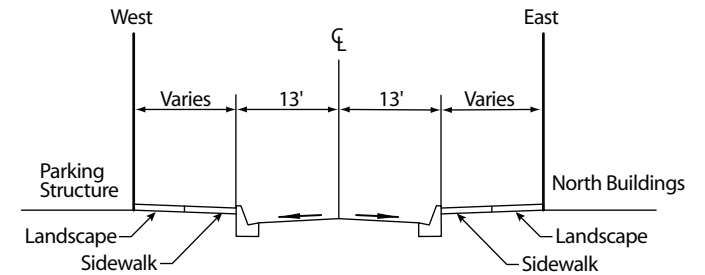
Bastanchury Road (Harbor Blvd. to St. Jude Way)



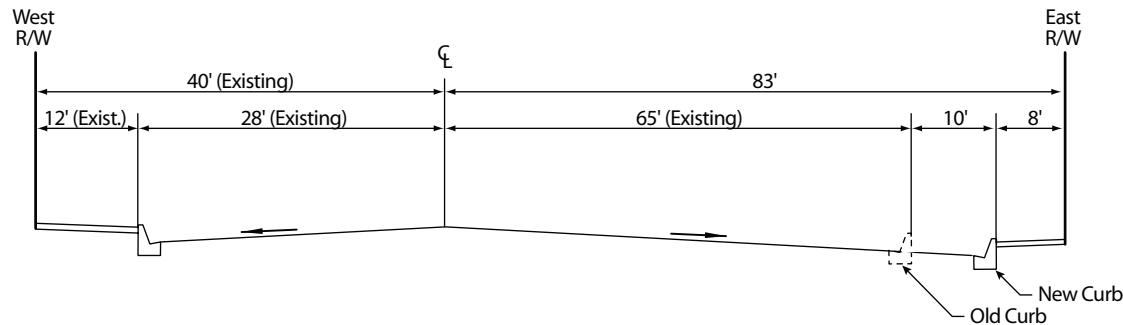
Valencia Mesa Drive



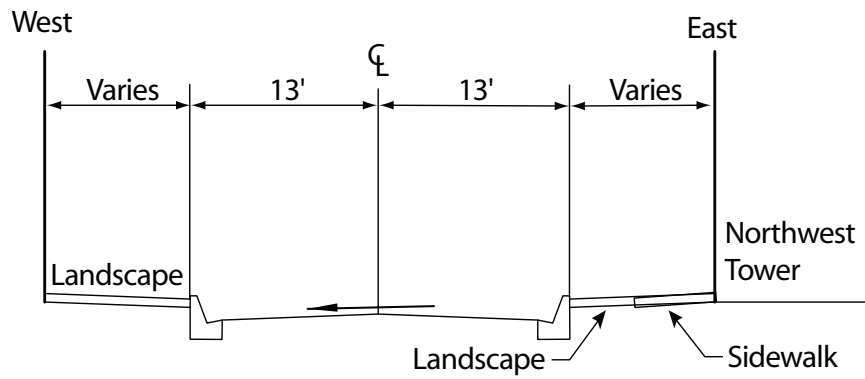
North Harbor Boulevard (without right-turn lane)



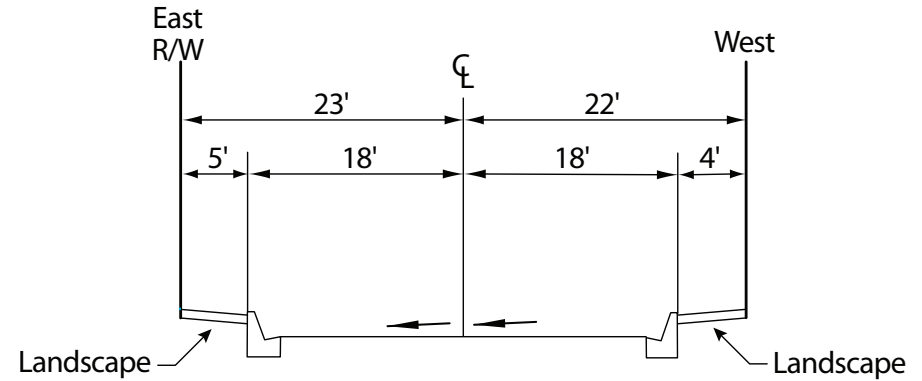
St. Jude Way



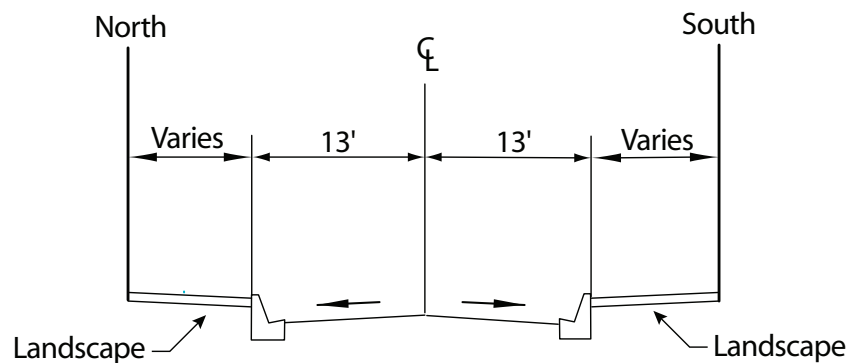
North Harbor Boulevard (with right turn lane)



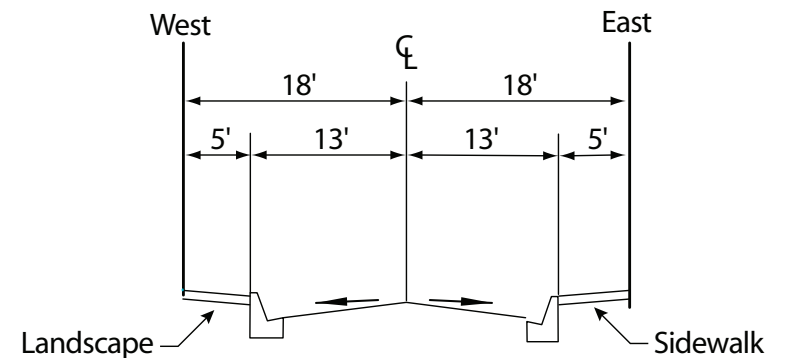
Drive "A"



Drive "D"



Drive "E"



Drive "F"

2.2.2 Bicycle Circulation

The City's General Plan Master Plan of Bikeways identifies three classes of bike lanes and trails in the vicinity of the project — Classes I, II and III. Class I bikeways provide a completely separated trail designated for the exclusive use of bicycles and pedestrians with cross flows by motorists minimized. Class II bikeways provide a restricted right-of-way designated for the exclusive or semi-exclusive use of bicycles with through travel by motor vehicles or pedestrians prohibited, but with vehicle parking and crossflows by pedestrians and motorists permitted. Class III bikeways provide a right-of-way designated by signs or permanent markings and shared with pedestrians or motorists. These trails are shown on Exhibit 2.1, Circulation Plan.

- **Brea Dam Connector Trail and Brea Dam Regional Trail:** The Brea Dam Connector Trail extends eastward from the terminus of Valencia Mesa Drive, along the northern boundary of the Fullerton Tennis Center, to the edge of the Brea Dam Recreational Area. At this point, the Trail turns northward and becomes the Brea Dam Regional Trail, which connects to Bastanchury Road. A Construction Phasing Plan shall be submitted to the City (including the Parks and Recreation Department) prior to any permits being issued for construction in the Fullerton Tennis Center.
- **Class I Bike Trail:** A proposed future Class I bike trail will be located adjacent to the

eastern border of the SJMC main campus and the Brea Dam Recreation Area.

- **North Harbor Boulevard Class II Bikeway:** A future Class II bikeway is depicted along North Harbor Boulevard, south of Valencia Mesa Drive, on the City's Master Plan of Bikeways. This bikeway will continue eastward on Valencia Mesa Drive and adjacent to the Fullerton Tennis Center until it reaches the Brea Dam Recreation Area. A Construction Phasing Plan shall be submitted to the City (including the Parks and Recreation Department) prior to any permits being issued for construction in the Fullerton Tennis Center.
- **Valencia Mesa Drive Class III Bikeway:** An existing Class III bikeway runs along the south side of Valencia Mesa Drive, west of North Harbor Boulevard, on the City's Master Plan of Bikeways.

2.2.3 Pedestrian Bridge

An important component of the Circulation Plan is the existing pedestrian bridge that connects the main hospital campus on the east side of N. Harbor Boulevard with the new St. Jude Medical Office Building on the west side of N. Harbor Boulevard.



Pedestrian Bridge

2.3 Project Summary by Phases

This section discusses the various plan components (e.g., land use, circulation, infrastructure, etc.) for each of the four distinct phases. To truly understand this project it is important to understand each of the phases. Each phase contains separate and distinct work efforts and must be completed in sequence to allow for the next phase work effort to occur.

The following tables summarize each of the phases in terms of building square footage, scheduled demolition, beds and parking needs. A textual discussion of each phase follows.

2.3.1 Baseline Conditions (2004)

The proposed SJMC site encompasses 14 acres and is occupied by existing facilities that include 333 licensed beds and a total of 355,603 Building Gross Square Feet (BGSF), which is equivalent to 1,068 BGSF per bed. A total of 1,474 parking spaces are provided on-site, including the East Parking Structure. See Exhibit 2.3, Baseline Conditions (2004).

In 2004, approximately 10% of the rooms were single/private, while the remaining rooms were 90% doubles/semi-private rooms. All existing campus hospital buildings on the SJMC campus, except for a 3,500 SF admitting/outpatient services building, are classified as “collapse hazard” buildings. Upgrading these facilities to meet recently adopted seismic safety standards

Table 2-1 Medical Building Square Footage by Phase ¹

	Existing Buildings (At start of each phase/ cumulative condition)	Scheduled for Demolition (Per Phase)	New Construction (Per Phase)	Existing Buildings + Demolition + New Construction (Cumulative)
Baseline Condition ²	355,603 sq. ft.	--	--	355,603 sq. ft.
Phase 1A	355,603 sq. ft.	--	109,590 sq. ft.	465,193 sq. ft.
Phase 1B	465,193 sq. ft.	--	3,700 sq. ft.	468,893 sq. ft.
Phase 2	468,893 sq. ft.	--	216,000 sq. ft.	684,893 sq. ft.
Phase 3	684,893sq. ft.	-187,269 sq. ft.	499,863 sq. ft.	997,487 sq. ft.
Phase 4	997,487 Sq. ft.	129,629 sq. ft.	72,766 sq. ft.	940,624 sq. ft.

Total Square Footage at Completion of Phase 4

940,624 sq. ft.

¹ Parking garages, surface parking lots, Central Plant, and accessory uses are not included in medical building square footage.

Table 2-2 Number of Beds by Phase

	No. of Beds at the Beginning of Each Phase	Beds Scheduled for Demolition (Per Phase)	New Beds (Per Phase)	Existing Beds + Demolition + New Beds (Cumulative)
Baseline Condition ¹	333 Beds	--	--	333 Beds
Phase 1A	333 Beds	--	67 Beds ²	400 Beds
Phase 1B	400 Beds	-16 Beds	--	384 Beds
Phase 2 ³	384 Beds	-146 Beds	120 Beds	358 Beds
Phase 3	358 Beds	-134 Beds	288 Beds	512 Beds
Phase 4	512 Beds	--	--	512 Beds

Total Beds at Completion of Phase 4

512 Beds

¹ The baseline condition is established as the existing condition as of February 2004, and also includes the approved East Parking Structure completed in late 2004/early 2005.

² 67 beds are included in the Southwest Wing.

³ TCC, non-acute, long-term care is included in the Main Building.

Table 2-3 On-Site Parking Spaces by Phase

	Existing Spaces at the Beginning of Each Phase	Spaces Lost (Per Phase)	New Spaces (Per Phase)	Total Spaces at End of Each Phase
Baseline Condition ¹	1,474	--	--	1,474
Phase 1A	1,474	-121	--	1,353
Phase 1B	1,353	-131	--	1,222
Phase 2	1,222	-523	253 ²	952
Phase 3	952	--	572	1,524
Phase 4	1,524	--	--	1,524
Total No. of Parking Spaces at Completion of Phase 4				1,524

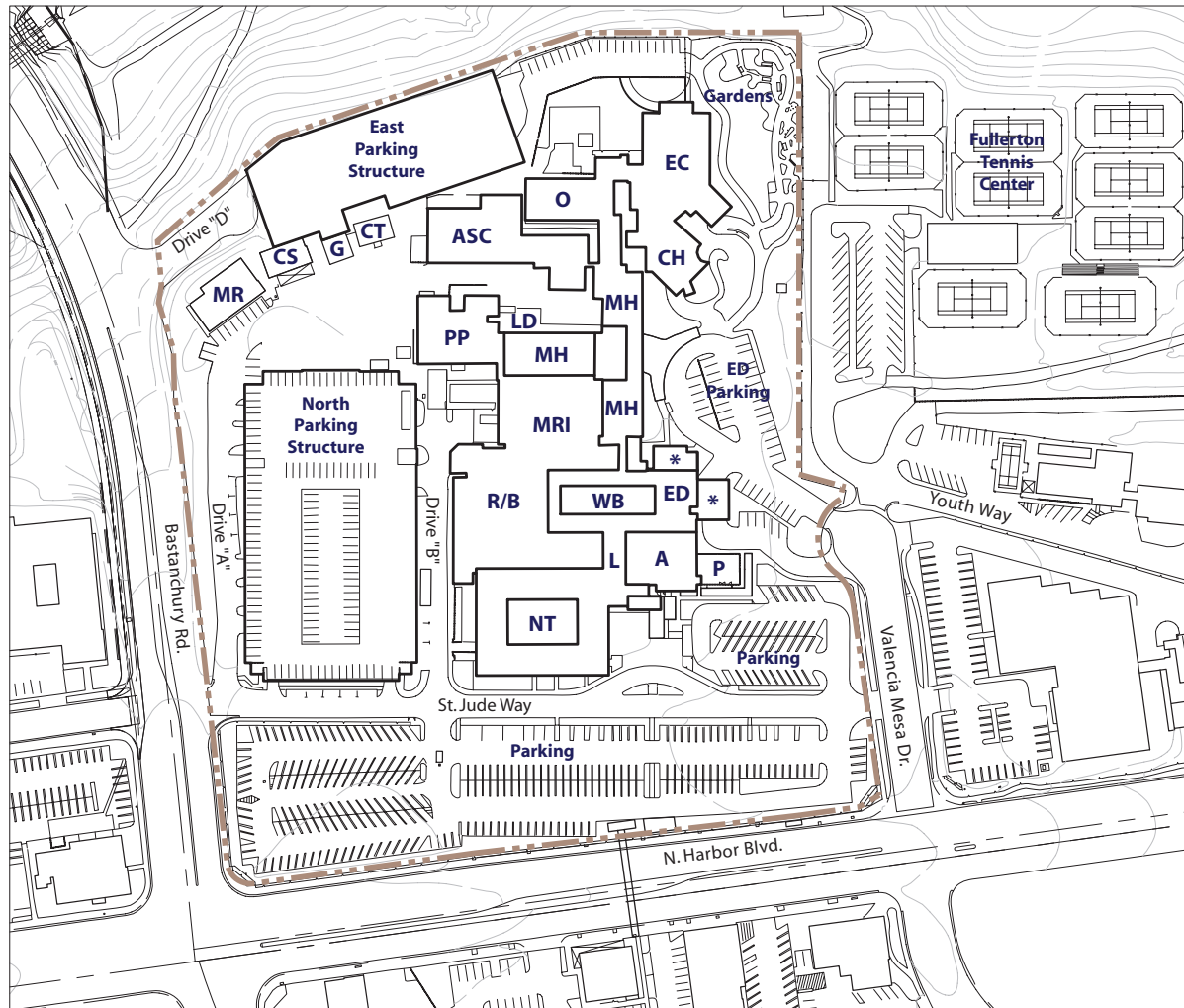
¹ The baseline condition is established as the existing condition as of February 2004, and also includes the approved East Parking Structure completed in late 2004/early 2005.

² Includes 215 spaces in the East Parking Structure expansion and 38 spaces in the South Parking Lot expansion.

will need to occur in a two-step process over the next couple of decades. First, in accordance with Senate Bill 1953, all structurally non-compliant buildings within the SJMC campus must be structurally upgraded or seismically retrofitted by 2008 or removed from service if the structures cannot be upgraded. OSHPD may grant extensions to the 2008 deadline, up to a maximum of five years (2013). SJMC applied for and has received a deadline extension to 2013.

The upgrading of the non-compliant buildings temporarily renders the structures compliant, until further measures are taken. Additionally, in accordance with the Alquist Act, all structurally non-compliant acute care buildings unable to withstand a significant seismic event must be upgraded by January 2013, and/or replaced with structurally compliant acute care buildings and services, systems and utilities, with the capacity to operate for 72 hours.

St. Jude Medical Center Replacement Plan



Symbol	Use
A	Admitting
ASC	Ancillary Services Center
O	Offices (Former Convent)
CH	Chapel
CS	Carpentry Shop
CT	Cooling Tower
EC	Education Center
ED	Emergency Department
G	Garage
L	Main Lobby
LD	Loading Dock
MH	Main Hospital
MR	Medical Records
MRI	Magnetic Resonance Imaging
NT	North Tower
P	Pre-Anesthesia Building
PP	Physical Plant
R/B	Radiology/Basement
WB	West Building
*	Emergency Department Expansion

Exhibit 2.3, Baseline Conditions (2004)

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2.3.2 Phase 1 Plan Description

A. Phase 1 Site Plan

Phase 1 is comprised of two sub-phases, Phase 1A and Phase 1B. Phase 1A is the initial step in replacement of the campus buildings and includes construction of the Southwest Wing and accompanying central plant. The Southwest Wing, at approximately 109,590 square feet, is proposed to include a net total of 67 new licensed beds, which will be located in the Southwest Wing. Plans for the Southwest Wing include a four-story structure, plus a basement level and rooftop mechanical penthouse that will serve as the building's central plant. The building height will be approximately sixty-five feet, not including the 9,700 square-foot mechanical penthouse, which will be eighteen feet in height.

The Southwest Wing may accommodate patient services that are currently located in other buildings on the campus. Services that may be relocated to the Southwest Wing include the Cardiovascular and Catheterization Department at the basement level, the Emergency Department at the first level, the Intensive Care Department at the fourth level, and the Women's and Children's Department at the third and fifth levels. No second floor uses are planned for relocation because of the space limitations posed by the existing building's low floor-to-floor heights as they relate to the Southwest Wing, which has taller floors. In other words, the vertical space taken up by the first three stories

in the existing building is equivalent to only two stories in the new Southwest Wing.

Phase 1B will consist of expansion of the Main Entry Lobby, an approximately 3,700 square-foot lobby expansion over the existing hospital entry plaza which faces St. Jude Way, to distinguish the primary patient and visitor entries.

A net total of 67 new beds, which will be located in the Southwest Wing, will be added in Phase 1A; 16 beds will also be eliminated in Phase 1. At the end of Phase 1, there will be a total of 384 licensed beds and 468,893 square feet of building area, as shown in Exhibit 2.4, Phase 1 Site Plan.

The new East Parking Structure will be constructed prior to Phase 1A and will most likely be limited to use by hospital employees only. Visitors to the hospital, chapel, brain trauma center, and education center will park in the surface parking lots or the North Parking Structure.

B. Phase 1 Access & Parking

At SJMC's option, circulation improvements in Phase 1 included redesign of the surface parking lots adjacent to N. Harbor Boulevard to possibly accommodate interim Drive "C" from N. Harbor Boulevard to St. Jude Way, as well as an interim deceleration lane on N. Harbor Boulevard to allow safe turning movements onto interim Drive "C". However, the option of Drive "C"

was not implemented in Phase 1 and therefore is no longer part of the Replacement Plan.

Improvements to the surface parking lots in this portion of the SJMC campus will include reconfiguration of St. Jude Way and will result in the temporary loss of 252 spaces during construction. Once Phase 1 is implemented, the project area will provide a total of 1,222 parking spaces on-site.

C. Phase 1 Public Services & Facilities

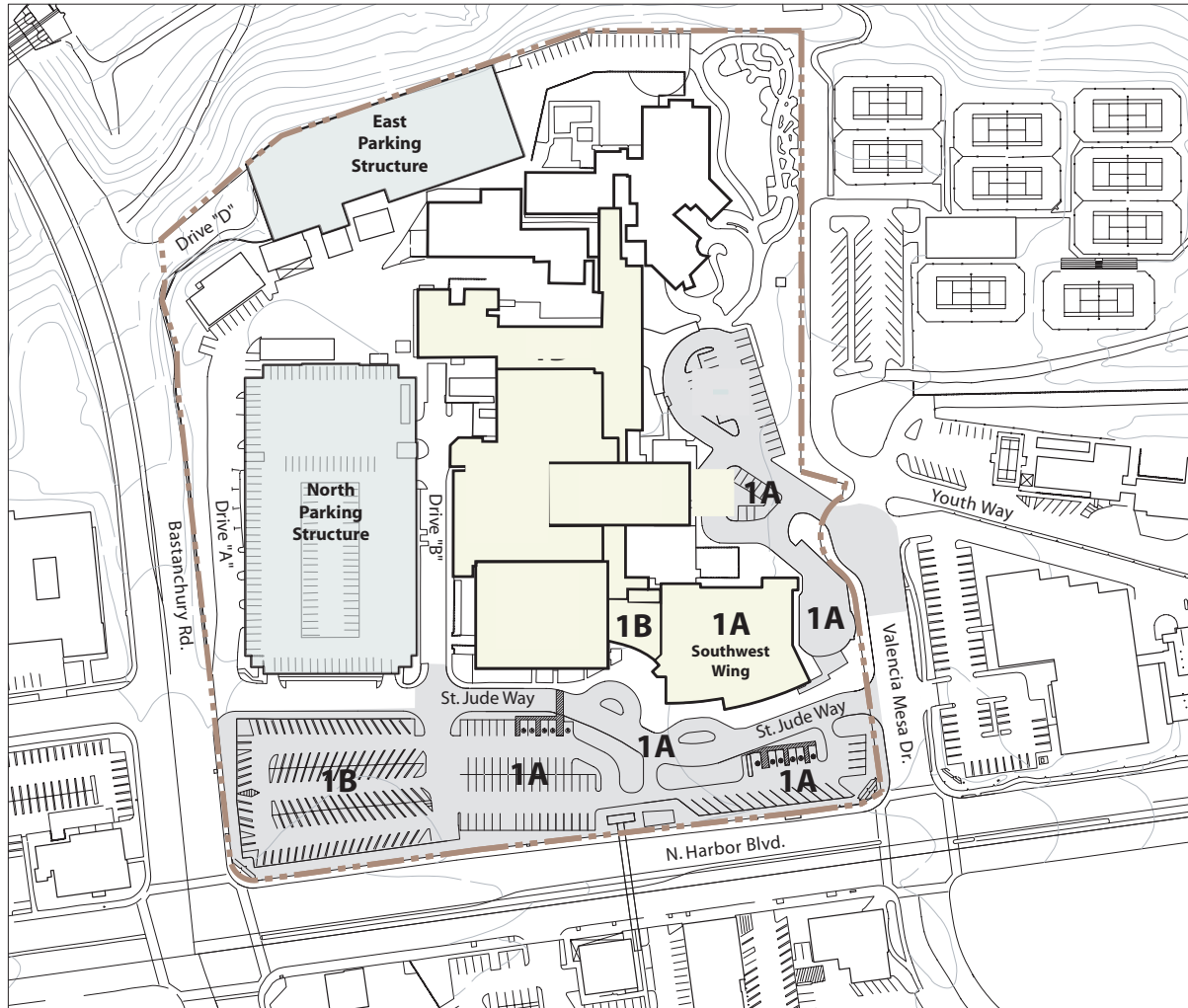
Water, sewer and storm drain services are provided and maintained by the City of Fullerton Maintenance Services Department, Water System Operations Division.

Phase 1 Water Plan

As of February 2004, the following water lines existed, as shown on Exhibit 2.5, Phase 1 Water Plan: an 8-inch line and a 16-inch line along Bastanchury Road; two 12-inch lines along N. Harbor Boulevard; an 8-inch line along Valencia Mesa Drive, with a 6-inch line and a 3-inch line extending north from it; and a system of 3-inch, 6-inch, and 8-inch lines in the project site that connect to the main lines in Bastanchury Road and N. Harbor Boulevard.

Construction of the Southwest Wing and adjacent access road will require the removal of several 6-inch lines within the building footprint. This facility will continue to be served by the 6-inch

St. Jude Medical Center Replacement Plan



Phase 1A (2004 - 2013)

Demolition:

None Required

New Construction:

Southwest Wing.....109,590 s.f. / 67 beds

Phase 1B (2004 - 2013)

Demolition:

None Required

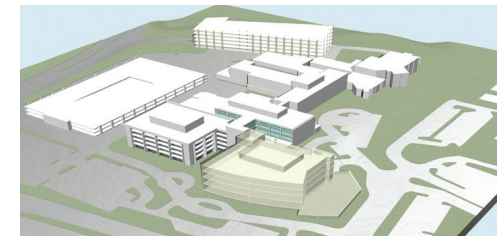
New Construction:

Lobby Addition to North Building3,700 s.f. / minus 16 beds

PHASE 1 SUMMARY

Total at Beginning of Phase 1A.....355,603 s.f. / 333 beds

Total at End of Phase 1B468,893 s.f. / ~~420~~ 384 beds



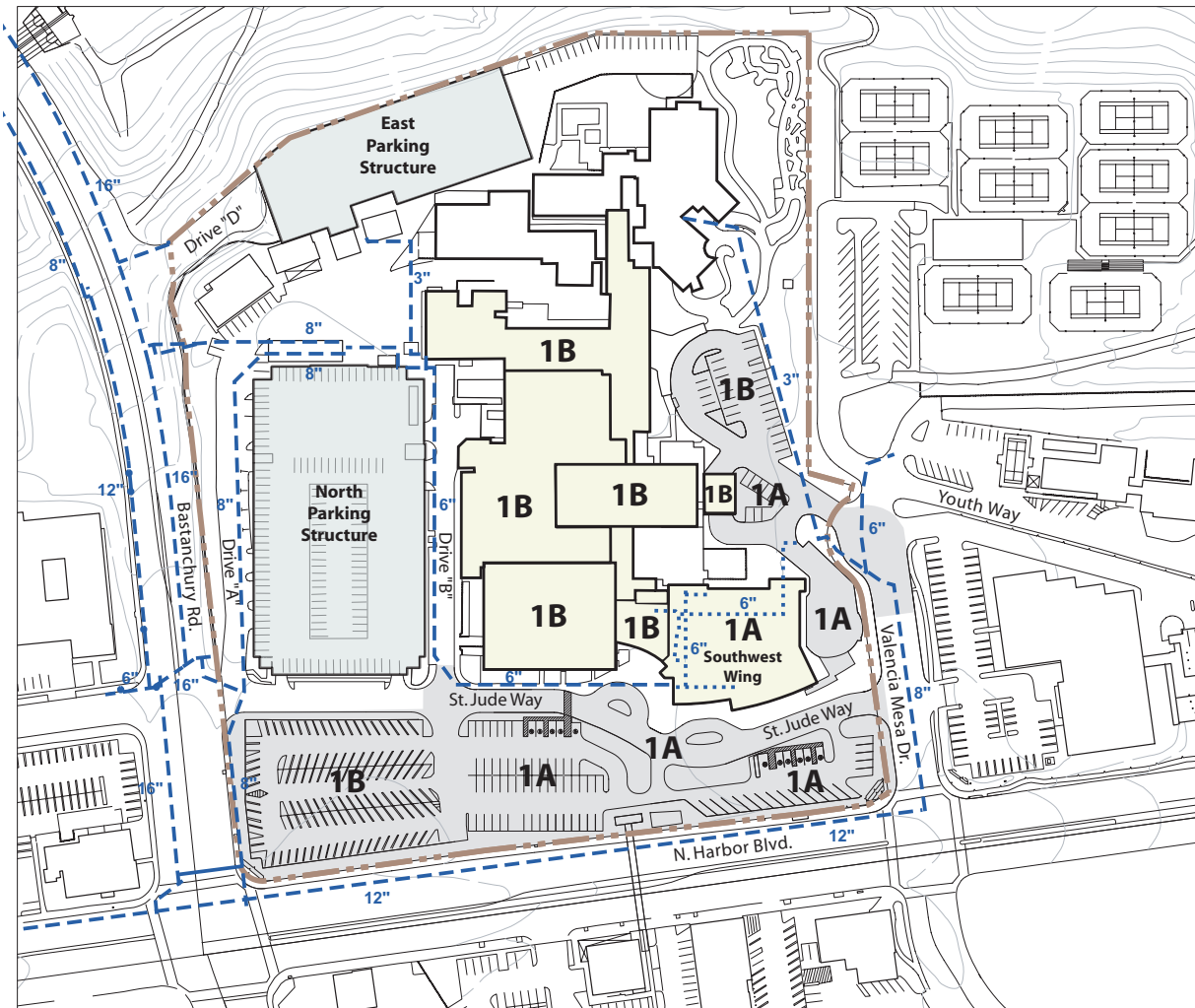
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Exhibit 2.4, Phase 1 Site Plan



Phase 1 Water Plan

- Existing Water Line
- Existing Water Line to be Removed
- Proposed Water Line

Exhibit 2.5, Phase 1 Water Plan



Wagner Halladay

AECOM

line extending to the west. No new water lines are planned in this Phase.

The City of Fullerton has indicated that the City's existing municipal water supply and delivery system is and will remain fully capable of serving the expansion needs of SJMC over the next several decades. Increased water demands and supply reliability issues anticipated by the City to occur over the next decade or more have been addressed in several other existing planning documents.

Phase 1 Fire Plan

A Conceptual Fire Plan has been developed for Phase 1. Exhibit 2.6, Phase 1 Fire Plan, depicts existing fire water mains to remain, existing fire water mains to be removed, as well as proposed future fire water mains. The locations of fire hydrants and fire lanes on the SJMC campus (both existing and proposed) site are also depicted.

Phase 1 Sewer Plan

As of February 2004, the following sewer lines existed, as shown on Exhibit 2.7, Phase 1 Sewer Plan: an 8-inch line along Bastanchury Road, with a 10-inch line extending south into the site; an 8-inch line along Valencia Mesa Drive; and a system of 4-inch, 6-inch, and 8-inch lines in the project site that connect to the main line in Bastanchury Road.

A new sewer line will extend north from Valencia Mesa Drive and connecting to the new Southwest Wing building. No sewer lines are expected to be removed during Phase 1.

Phase 1 Drainage Plan

As of February 2004, the following drainage lines existed, as shown on Exhibit 2.8, Phase 1 Drainage Plan: a 4-inch segment in the northeastern area of the site; a 15-inch line extending south from Bastanchury Road into the North Parking Structure; and a system of 6-inch, 8-inch, 10-inch, and 12-inch lines extending eastward from the main hospital building and emptying into the Brea Dam drainage area.

There is a 5.84-acre drainage area, which includes the areas on the East and North Parking Structures and Drives "A" and "B", that will drain toward Bastanchury Road. A separate 1.27-acre drainage area that includes portions of the existing surface parking lot will drain toward Harbor Boulevard. Another 1.67-acre area on St. Jude Way will drain to Valencia Mesa Drive. The drainage improvements needed to implement Phases 1A and 1B are conceptually depicted in Exhibit 2.8, Phase 1 Drainage Plan.

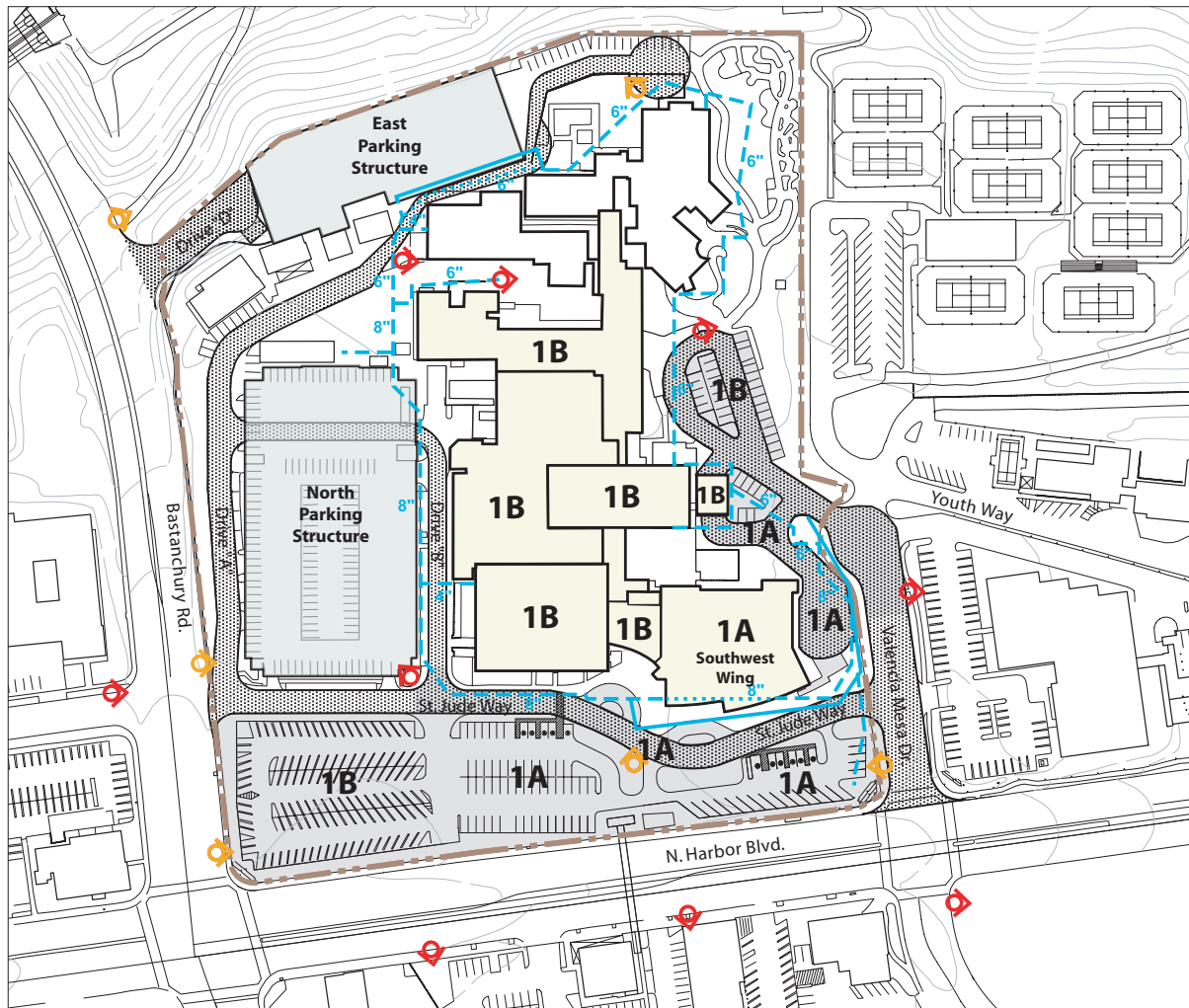
Phase 1 Solid Waste Disposal

MG Disposal Systems, a division of Taormina Industries, provides solid waste disposal services to SJMC. Based on service projections

and anticipated demand increase, an adequate level of service will be maintained.

D. Phase 1 Grading Plan

Earthwork activities in Phase 1 include minor grading for the parking lot, access road and landscape improvements. Approximately 15,340 cubic yards of earth will be moved during grading operations. It is anticipated the earth movement can be accommodated on-site without necessitating any export. Detailed grading plans shall be submitted to the City for review and approval by the Engineering Department prior to the start of each development phase.



Phase 1 Fire Plan

- Existing Fire Water Line
- Existing Fire Water Line to be Removed
- Proposed Fire Water Line
- ⬆ Existing Fire Hydrant
- ⬆ Proposed Fire Hydrant
- Fire Lane

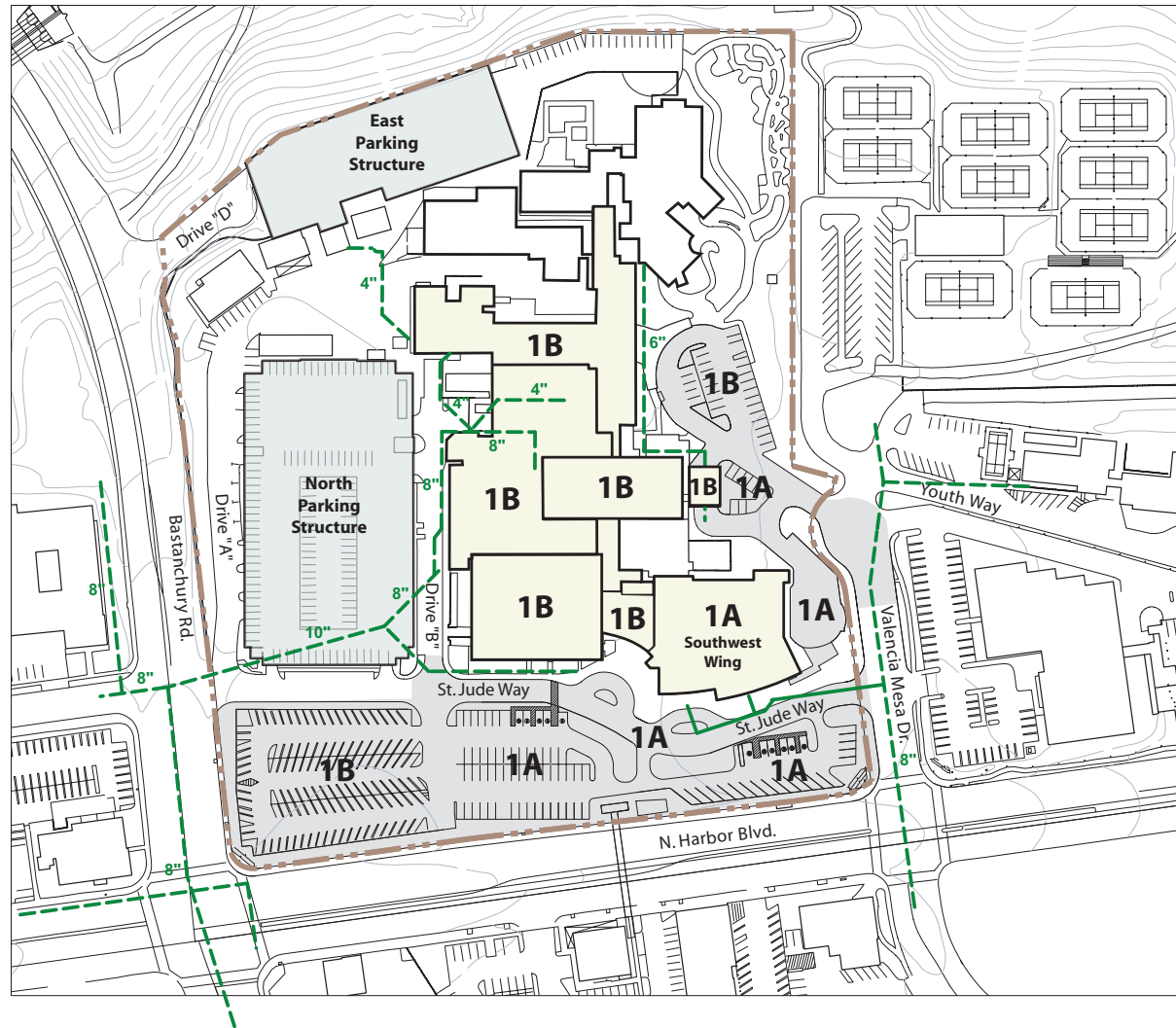
Exhibit 2.6, Phase 1 Fire Plan



Wagner Halladay

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St. Jude Medical Center Replacement Plan



Phase 1 Sewer Plan

- Existing Sewer Line
- Proposed Sewer Line

Exhibit 2.7, Phase 1 Sewer Plan



Wagner Halladay

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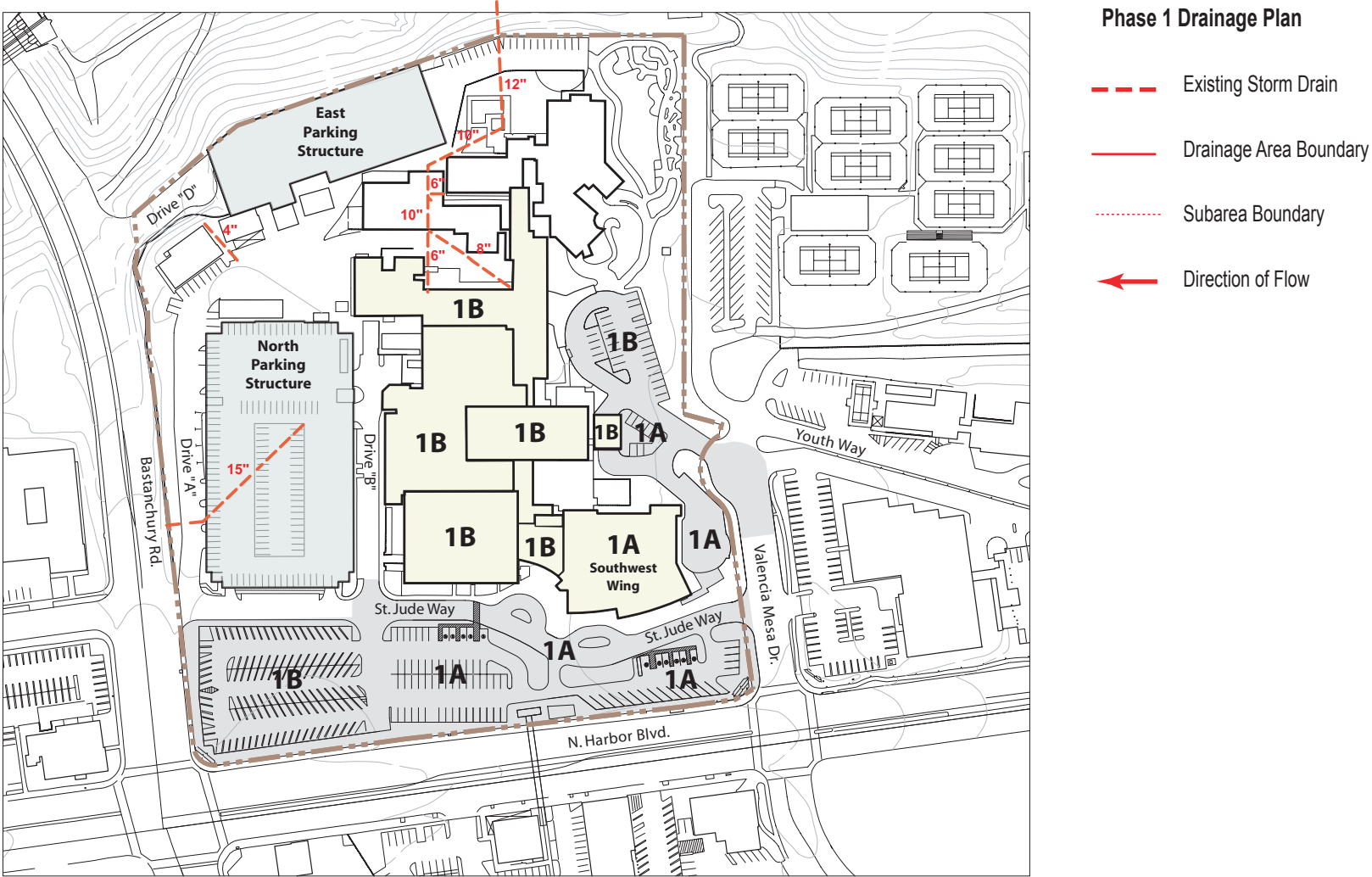


Exhibit 2.8, Phase 1 Drainage Plan



Wagner Halladay



2.3.3 Phase 2 Plan Description

A. Phase 2 Site Plan

Phase 2 begins the relocation of acute care services from certain existing buildings, which, under SB 1953, must be removed from acute care service before the year 2030. Refer to Exhibit 2.9, Phase 2 Site Plan.

Specific Plan Amendment #1 (PRJ0400219A) amends the St. Jude Medical Center Replacement Plan Specific Plan to modify the approved site plan to eliminate the Southeast Tower and propose the addition of the Northwest Tower.

The proposed Northwest Tower will be located in the north side of the campus and will replace the existing North Parking Structure.

The Northwest Tower will be a four-story, 216,000 square-foot structure with no subgrade basement floors. The proposed building will have a height of 75 feet with a rooftop mechanical penthouse. The building will have a setback distance of 40 feet from the Bastanchury Road.

The North Parking Structure will be demolished to allow for construction of the Northwest Tower, resulting in a loss of 494 parking spaces (of the total loss of 523 parking spaces). Construction of the Northwest Tower will result in the addition of 120 beds.

Following demolition of the North Parking Structure, visitor parking will be provided

on-site in the West surface parking lots. Staff parking will be provided in the East Parking Structure and the proposed expansion to the East Parking Structure.

The East Parking Structure will be expanded in Phase 2. The expansion to the East Parking Structure will consist of 5 levels, with a maximum height of approximately 42 feet. Demolition of the surface parking lots located at the south end of the existing structure would accommodate the expansion. The demolition of the surface lots will result in the loss of 29 parking spaces. The South Parking Lot will also be expanded by 38 spaces, while the construction of the East Parking Structure expansion will result in the addition of 215 parking spaces, for a new overall total of 952 parking spaces.

This Specific Plan, in accordance with the City of Fullerton Zoning Code Section 15.30.060, Parking Standards, requires 1 space per bed for acute care hospital. However, SJMC recognizes that the City Code does not adequately provide parking to meet the demand of the hospital. Therefore, SJMC is providing parking spaces based on the projected demand for the hospital (KOA Parking Analysis, 2010).

SJMC will institute an ongoing parking management plan, subject to review and approval by the City, that provides adequate staff and visitor parking that may utilize off-site parking facilities to supplement the on-site capacity. The effectiveness of this plan may be

reviewed on an annual basis with the City of Fullerton, or as determined necessary by the City. The parking management plan is discussed in greater detail in Section 3.8 of this document.

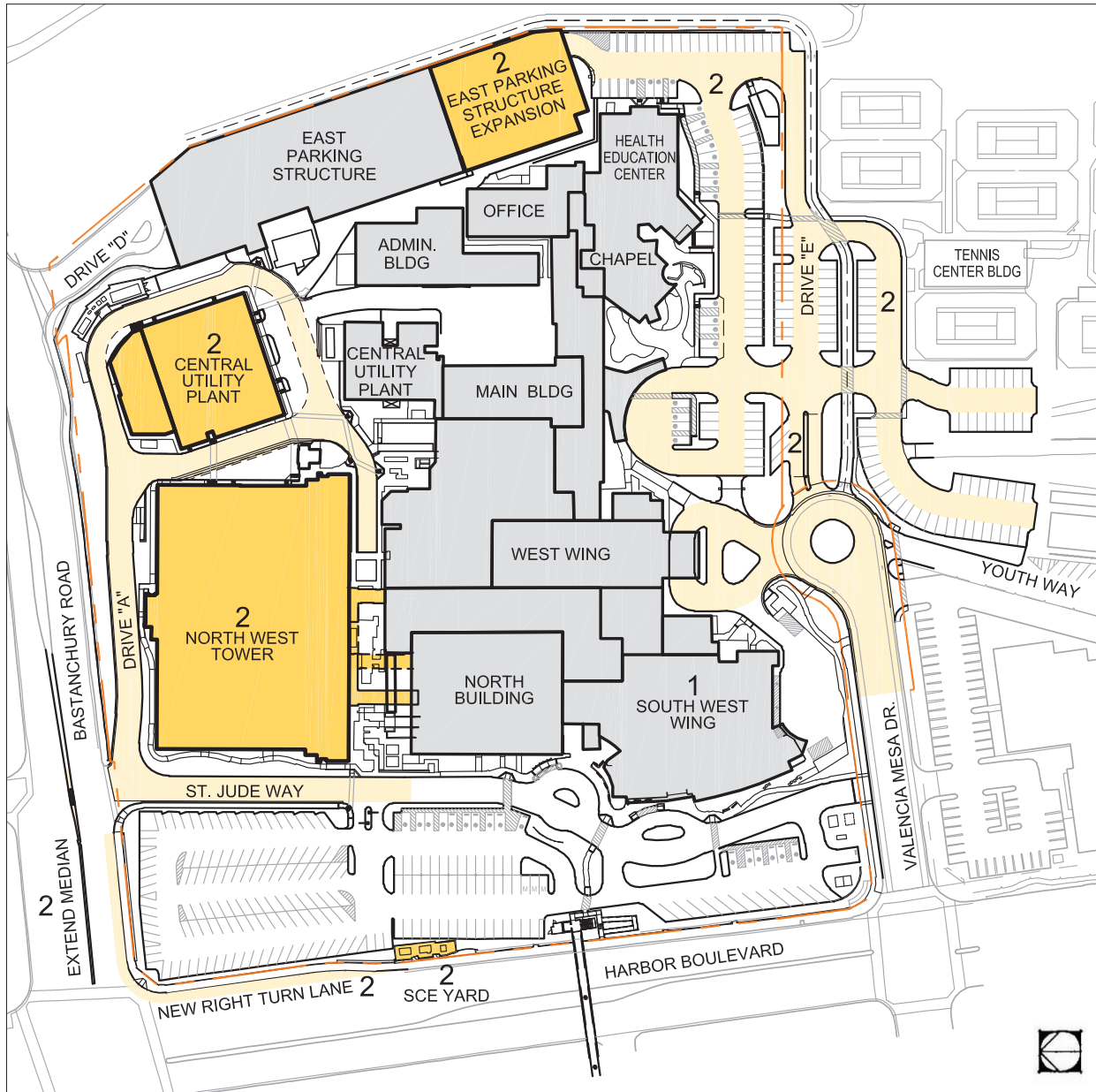
In addition, a new 14,000-square foot Central Plant would be constructed that would provide air, water, and energy to the proposed Northwest Tower. The Central Plant would consist of a single-level building with a height of approximately 25 feet above finished grade. To accommodate this building, the existing Medical Records building will be demolished.

A total of 146 beds will be eliminated from the Main and West buildings in Phase 2, with the addition of 120 beds through construction activities, resulting in a total of 358 licensed beds and 684,893 square feet upon completion of this phase.

B. Phase 2 Circulation and Parking

Phase 2 provides a total of 952 spaces on-site. The breakdown of parking spaces are shown in Table 2-3, On-Site Parking Spaces by Phase.

A connector road (Drive "E") will be built extending from Valencia Mesa Boulevard east along the site's southern boundary to the East Parking Structure addition. Drive "E" will encroach into the adjoining Fullerton Tennis Center and will require an easement to allow for the 0.34-acre of encroachment for the access drive.



Phase 2 (2010 - 2016)

Demolition:

North Parking Structure	494 spaces on-site
East Surface Parking Lot (partial)	29 spaces on-site
Beds Removed from Main and West Buildings	no change in s.f. / 146 beds

New Construction:

Central Plant*	14,000 s.f.
Northwest Tower	216,000 s.f. / 120 beds
East Parking Structure Expansion	215 spaces on-site
South Parking Lot Expansion	38 spaces on-site

PHASE 2 SUMMARY

Total at Beginning of Phase 2	468,893 s.f. / 384 beds
Total Spaces at Beginning of Phase 2	1,222 on-site
Total at End of Phase 2	684,893 s.f. / 358 beds
Total Spaces at End of Phase 2	952 on-site

* Parking garages, surface parking lots, Central Plant, and accessory uses are not included in medical building square footage.

Note: Configuration of the Valencia Mesa roundabout and access to facilities in the Brea Dam Recreation Area are conceptual and subject to review and approval by the City.

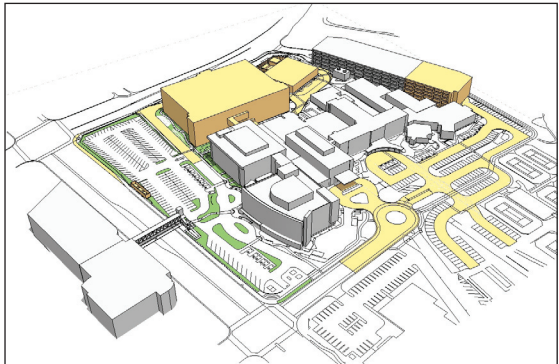


Exhibit 2.9, Phase 2 Site Plan

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In addition, there is a vault relating to a telecommunications facility that is located within the proposed alignment of Drive “E”. The vault is traffic rated for 130,000 pounds. Since fire truck loads (68,000 pounds) will be the greatest load, the vault shall remain in place. When Drive “E” is constructed, the vault access lid shall be adjusted to match the finished surface of the new roadway. The above ground a/c units that cool the vault are located within the proposed roadway alignment and shall be relocated out of the roadway/recreational trail alignment. SJMC shall be responsible for costs associated with adjusting the vault and a/c units to accommodate Drive “E”.

SJMC will cooperate with the City regarding the reconfiguration of the Valencia Mesa cul-de-sac in Phase 2. The parking lots south of Drive “E” in the adjacent Brea Dam Recreation area will also be reconfigured in Phase 2 to the satisfaction of the City, pursuant to issuance of permits through the Army Corps of Engineers (ACOE). Reconfiguration of the cul-de-sac and access to the facilities in the Brea Dam Recreation area may require abandonment and/or dedication of public right-of-way.

In addition, Phase 2 will involve reconstruction of the Fullerton Tennis Center parking lot and access drive to City of Fullerton standards. The new parking lot will be designed to ensure that there is no net loss in parking spaces between the existing and ultimate parking lot conditions.

Once the City issues the permits required to construct Drive “E”, then SJMC shall implement the agreed upon improvements to the Fullerton Tennis Center as more fully described in the St. Jude Medical Center Replacement Plan Development Agreement.

C. Phase 2 Public Services & Facilities

Water, sewer and storm drain services are provided and maintained by the City of Fullerton Maintenance Services Department, Water System Operations Division.

Phase 2 Water Plan

Water improvements for Phase 2, as shown in Exhibit 2.10, Phase 2 Water Plan, include upsizing the existing 8-inch line in Drive “A” to a 12-inch line that will provide domestic service for the Northwest Tower, the new Central Plant, and the Existing Hospital.

The City of Fullerton has indicated that the City’s existing municipal water supply and delivery system is and will remain fully capable of serving the expansion needs of SJMC over the next several decades. Increased water demands and supply reliability issues anticipated by the City to occur over the next decade or more have been addressed in several other existing planning documents.

Phase 2 Fire Plan

A Conceptual Fire Plan has been developed for Phase 2. Exhibit 2.11, Phase 2 Fire Plan, depicts existing fire water mains to remain, existing fire water mains to be removed, as well as proposed future fire water mains. The locations of fire hydrants and fire lanes on the SJMC campus (both existing and proposed) site are also depicted. Hydrants and Fire Department connections will be finalized during plan check.

Phase 2 Sewer Plan

Sewer improvements for Phase 2, as shown in Exhibit 2.12, Phase 2 Sewer Plan, include removal of the existing sewer line under the existing parking structure and installation of a new 8-inch line connecting to the public manhole on Bastanchury Road which will serve the Northwest Tower, CUP and the portion of the existing hospital that was previously served by the removed line. All final sewer improvement plans are subject to plan check review.

Phase 2 Drainage Plan

The Drainage Plan for Phase 2 is to maintain the existing tributary areas draining to Bastanchury Road and N. Harbor Boulevard, respectively, via proposed storm drain pipes with BMPs at the outlets. A new private storm drain line will be installed to replace the existing line under the proposed parking structure expansion and will connect to the existing line in the Army Corps of Engineers property. All necessary access permission and easements will be obtained

from the Army Corps of Engineers prior to construction. Phase 2 will provide a storm drain system to capture the onsite flows around the Northwest Tower and CUP that will outlet to Bastanchury Road through the curb. Existing runoff from the north end of the hospital buildings will continue to surface flow down Drive “B” and St. Jude Way towards Bastanchury Road. The drainage improvements necessary to implement the phase are conceptually depicted in Exhibits 2.13, Phase 2 Drainage Plans. All final drainage improvement plans are subject to plan check review.

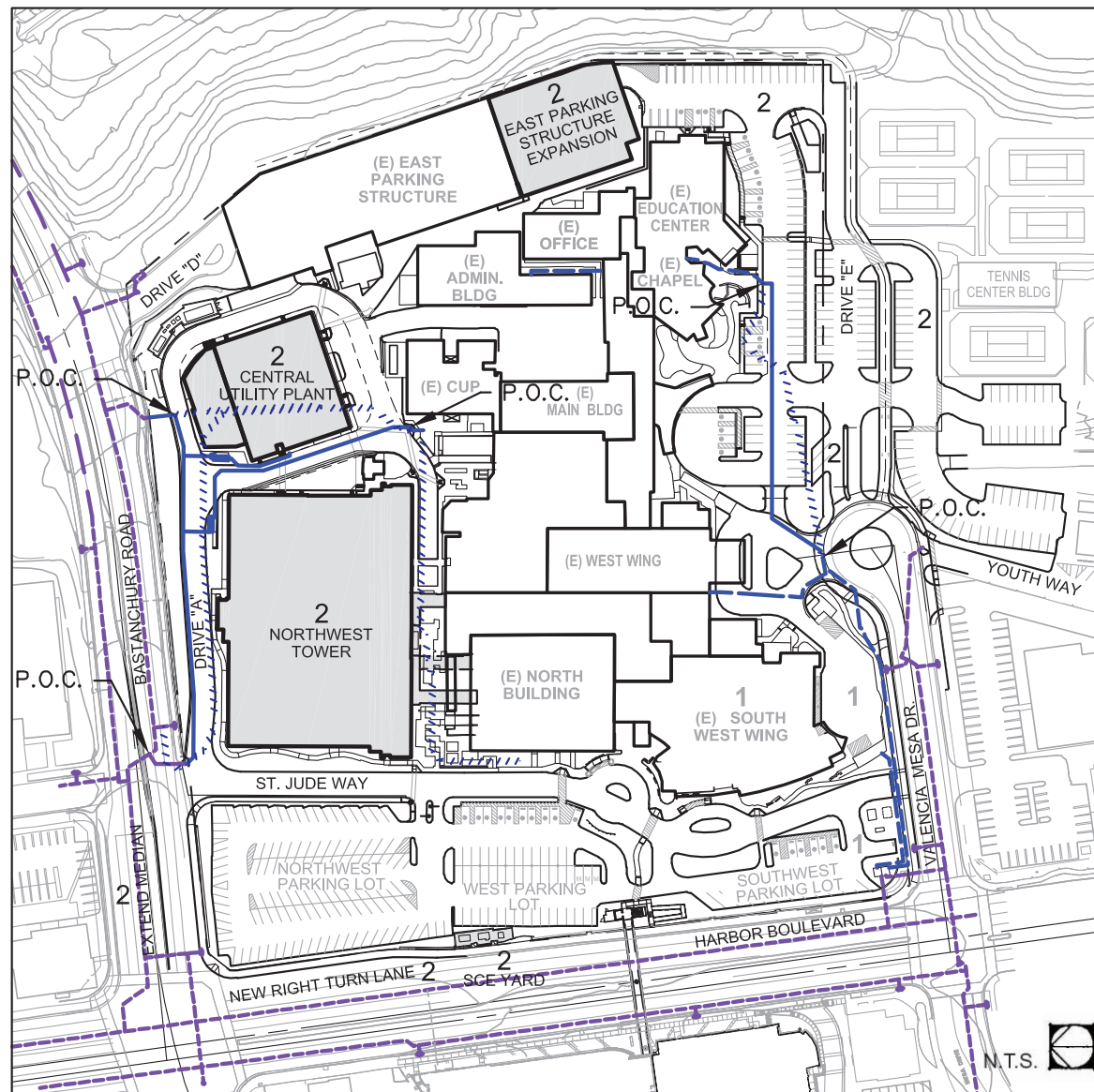
Phase 2 Solid Waste Disposal

MG Disposal Systems, a division of Taormina Industries, provides solid waste disposal services to SJMC. Based on service projections and anticipated demand increase, an adequate level of service will be maintained.

D. Phase 2 Grading Plan

Earthwork activities in Phase 2 include grading for site improvements, the Northwest Tower and CUP. All surplus soils from the parking structure and Northwest Tower overexcavation in Phase 2 will be hauled off-site. Detailed grading plans shall be submitted to the City for review and approval by the Engineering Department prior to the start of each development phase.

St. Jude Medical Center Replacement Plan



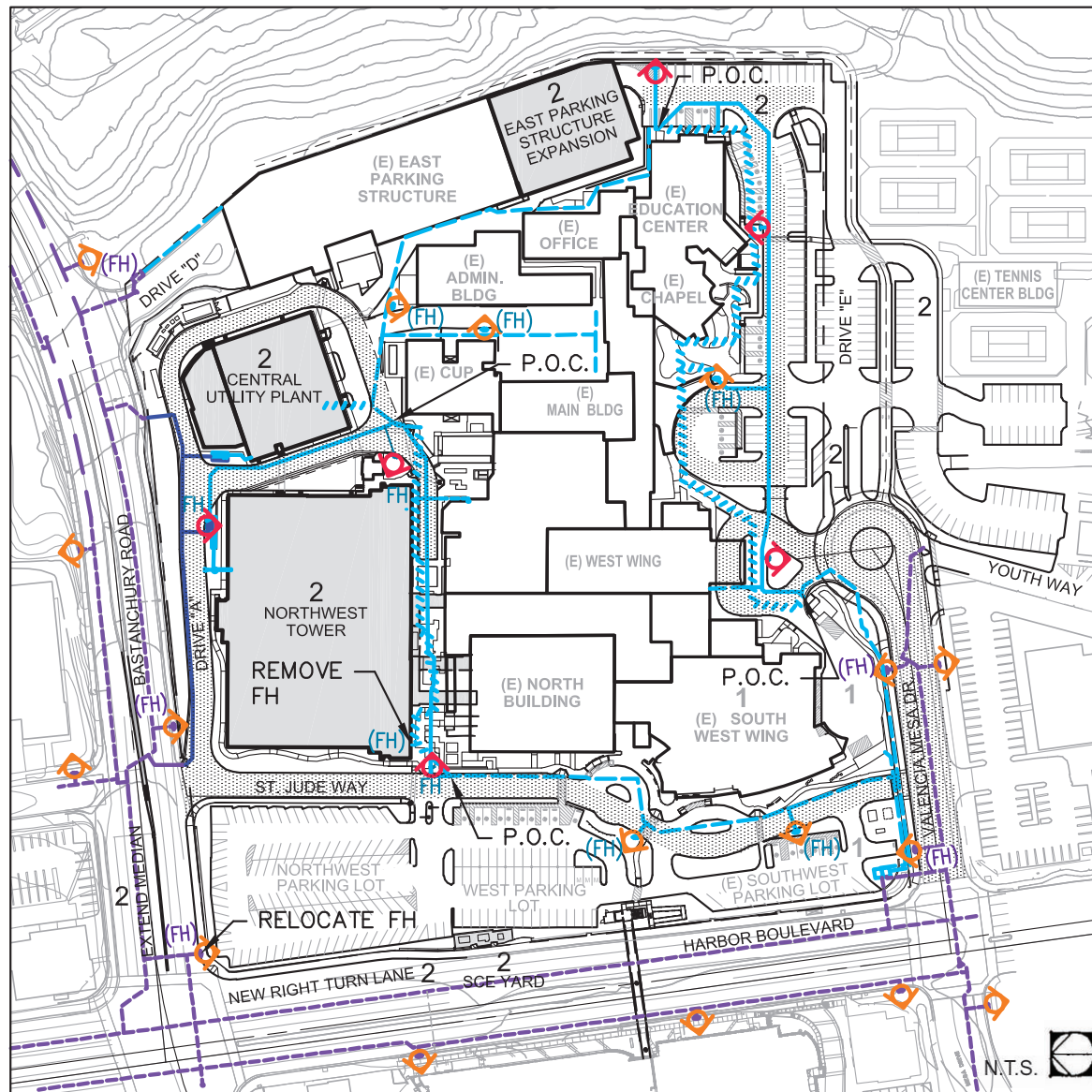
Phase 2 Water Plan

- Existing Water Line
- Existing 8" Water Line to Be Removed or Abandoned
- Proposed 12" Water Line
- Proposed Public Water Line
- Existing Public Water Line
- P.O.C. Point of Connection To Existing Facility

Exhibit 2.10, Phase 2 Water Plan

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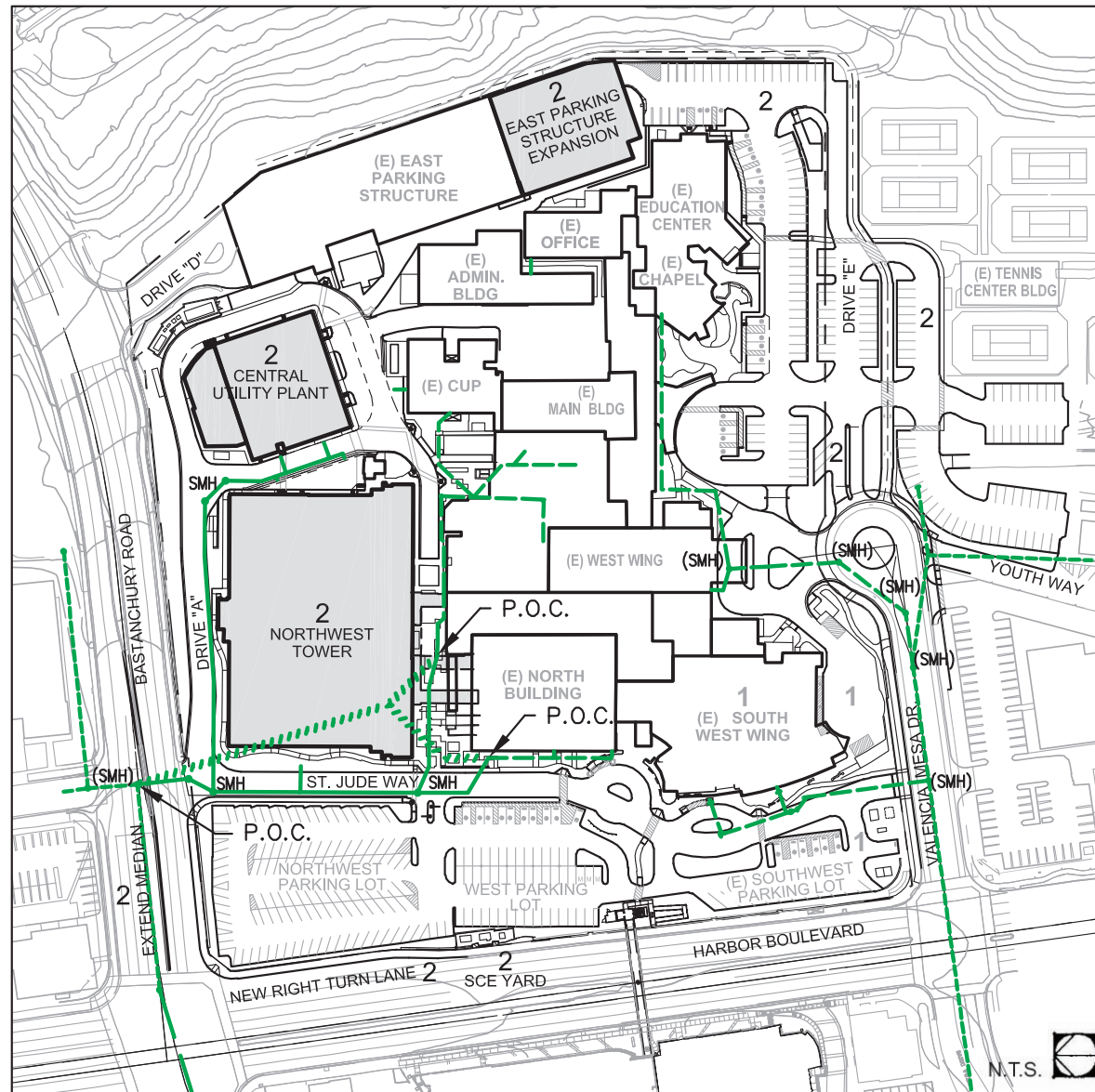


Phase 2 Fire Plan

- Existing Fire Water Line
- //// Existing Fire Water Line to be Removed or Abandoned
- Proposed Fire Water Line
- Proposed Public Water Line
- Existing Public Water Line
- Proposed Water Line
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Proposed Backflow Device
- Fire Lane
- P.O.C. Point of Connection to Existing Facility

Exhibit 2.11, Phase 2 Fire Plan

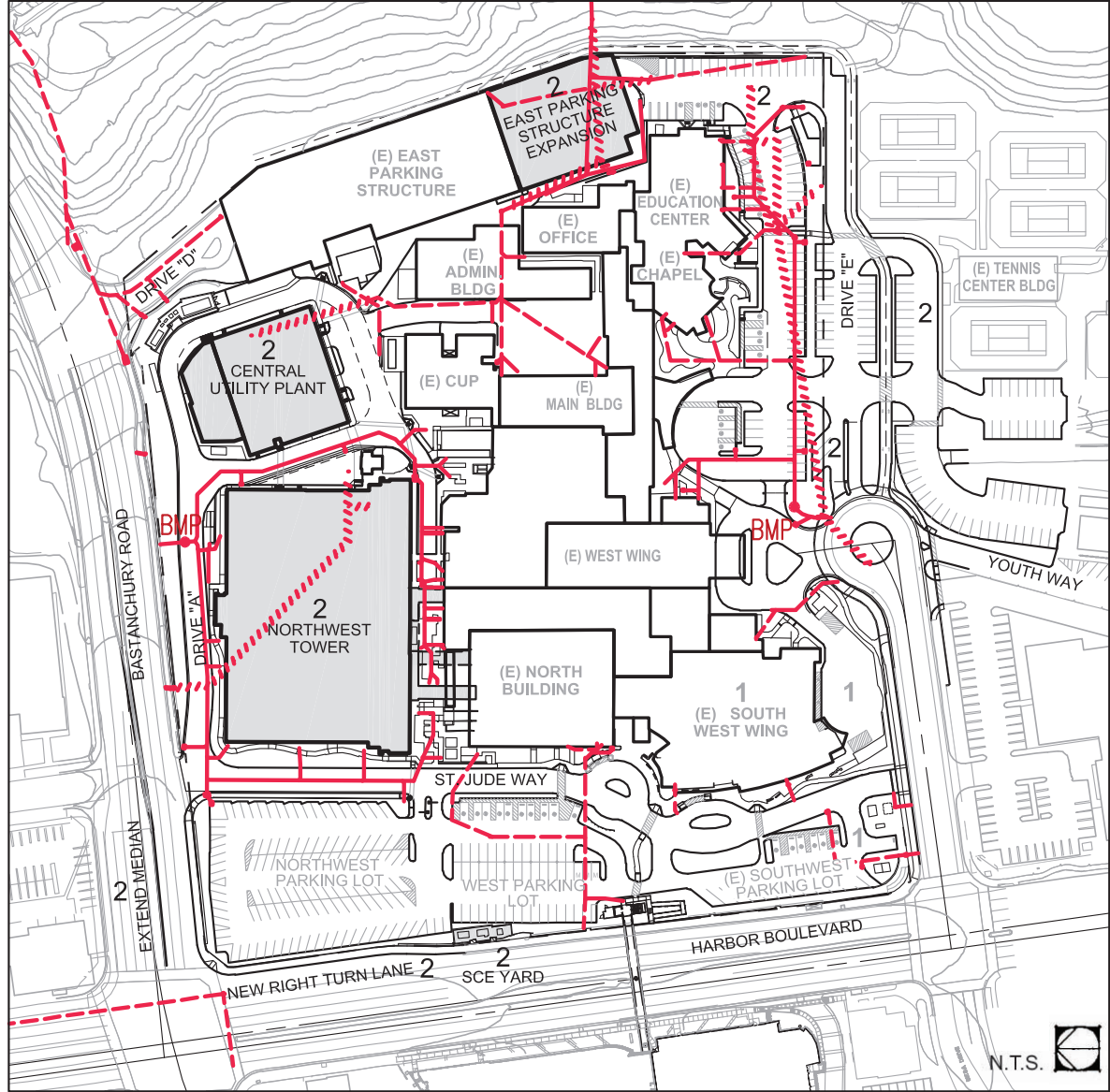
St. Jude Medical Center Replacement Plan



Phase 2 Sewer Plan

- Existing Sewer Line
- Existing Sewer Drain Line to be Removed or Abandoned
- Proposed Sewer Drain Line
- P.O.C. Point Of Connection

Exhibit 2.12, Phase 2 Sewer Plan



Phase 2 Drainage Plan

- Existing Storm Drain Line
- Existing Storm Drain Line to be Removed or Abandoned
- Proposed Storm Drain Line
- P.O.C. Point of Connection to Existing Facility

Exhibit 2.13, Phase 2 Drainage Plan

2.3.4 Phase 3 Plan Description

A. Phase 3 Site Plan

Phase 3 includes the construction of a new Northeast Tower and the Northeast Parking Structure. Phase 3 will also include expansion of the Central Plant facility, with an additional 8,000 square feet.

The following existing facilities will be demolished and relocated once new facilities are constructed: the MRI & Surgery facility in the West Building, the Ancillary Services Center Building, and the existing Main Building including the boiler room, cooling tower, utility tunnel and chiller room components.

Construction of the Northeast Tower will begin in Phase 3. The Northeast Tower is anticipated to be ten stories plus two basement levels and have approximately 499,863 square feet with a maximum height of approximately 171 feet. This building could allow for further expansion of the Surgery Department, as well as relocation of the permanent Receiving Department and Loading Dock area to its two lower levels. The new first level could consist of the Physical Therapy/Occupational Therapy Department, the Clinical Lab, the Radiology Department, and an expanded dining area. The upper levels could house additional hospital support space,

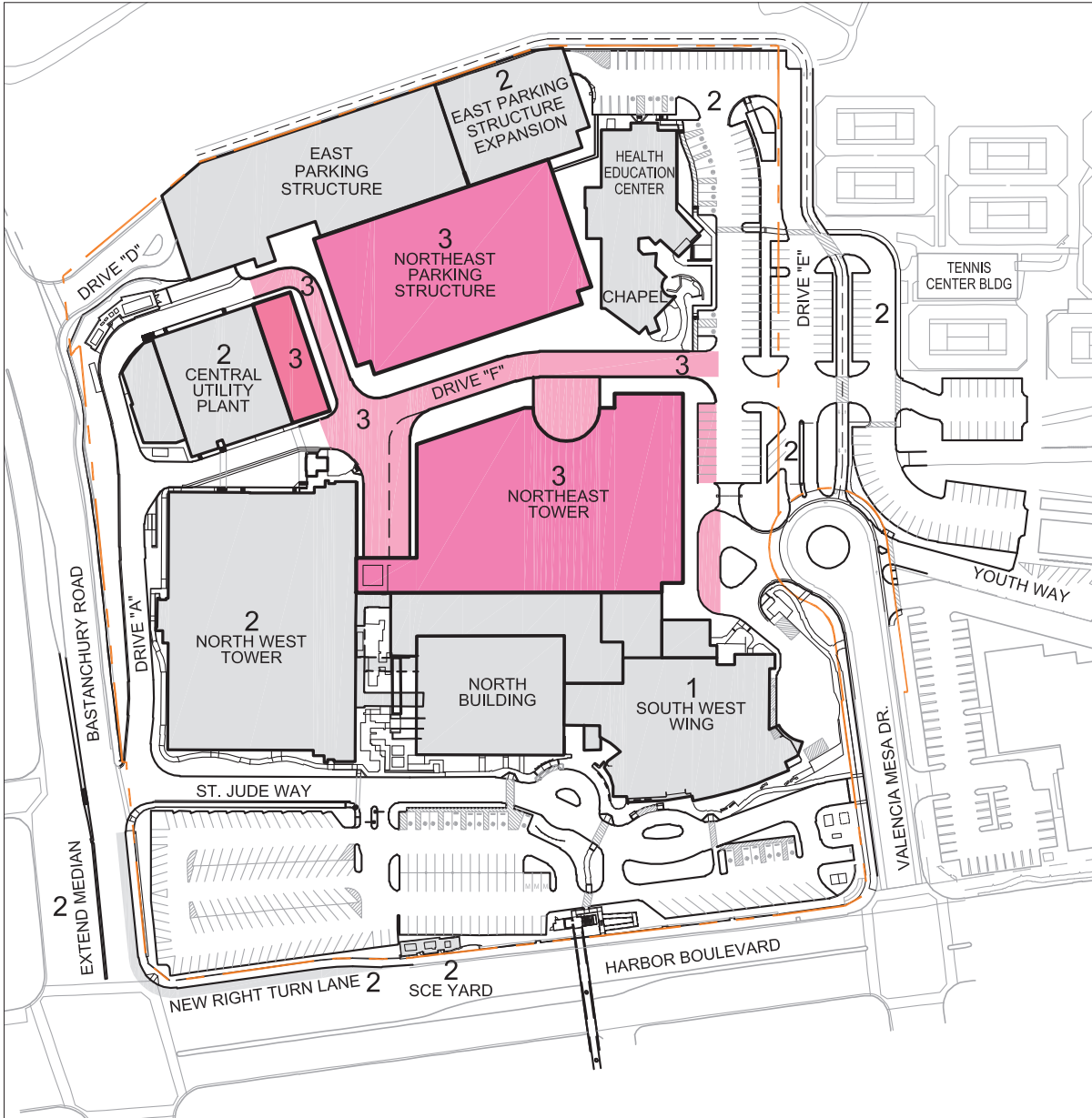
intensive care patient rooms and medical-surgical patient rooms.

A new Northeast Parking Structure is planned for Phase 3. It will be built adjacent to the East Parking Structure, just south of the Central Plant. The structure is anticipated to add 572 parking spaces, resulting in a total of 1,524 parking spaces on-site.

The Northeast Tower is expected to contain 288 new licensed beds. A total of 134 beds will be eliminated with the demolition activities in Phase 3, resulting in a new total of 512 licensed beds and 997,487 square feet upon completion of the phase, as shown in Exhibit 2.14, Phase 3 Site Plan.

B. Phase 3 Circulation Plan

As part of Phase 3, a north-south oriented lower access drive (Drive “F”) would be developed adjacent to the East Parking Structure, extending from Drive “A” to Valencia Mesa Drive. Drive “F” would extend from both sides of the Central Plant, providing through access from the East Parking Structure and the new Northeast Tower.



Phase 3 (2016-2023)

Demolition:

Main Building	75,622 s.f.
ASC Building	10,755 s.f.
Boiler/Chiller/Utility Tunnel.....	10,184 s.f.
West Building & Other	90,708 s.f. / 134 beds

New Construction:

Northeast Tower	499,863 s.f. / 288 beds
Northeast Parking Structure	572 spaces on-site
Central Plant Expansion*	8,000 s.f.
Drive "F"	

PHASE 3 SUMMARY

Total at Beginning of Phase 3.....	684,893 s.f. / 358 beds
Total Spaces at Beginning of Phase 3.....	952 on-site

Total at End of Phase 3	997,487 s.f. / 512 beds
Total Spaces at End of Phase 3	1,524 on-site

* Parking garages, surface parking lots, Central Plant, and accessory uses are not included in medical building square footage.

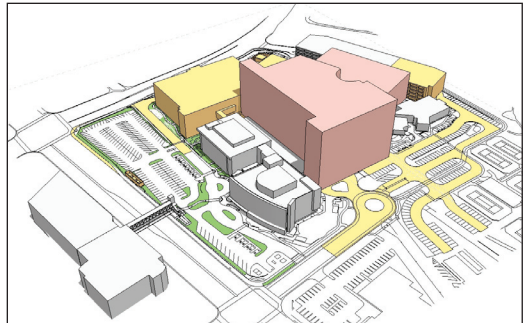


Exhibit 2.14, Phase 3 Site Plan

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C. Phase 3 Public Services & Facilities

Water, sewer and storm drain services are provided and maintained by the City of Fullerton Maintenance Services Department, Water System Operations Division.

Phase 3 Water Plan

Water improvements for Phase 3 include extending the domestic service from the expansion of the new CUP to serve the Northeast Tower. Existing water lines serving the existing hospital CUP will be removed with demolition of the existing main building and services from the south will be terminated.

Phase 3 Fire Plan

A Conceptual Fire Plan has been developed for Phase 3. The onsite fire loop will be extended through Drive “F” to complete a 12-inch connection from Valencia Mesa to Bastanchury Road.

Phase 3 Sewer Plan

Sewer improvements for Phase 3 includes extending the on-site sewer lines from the north and south to serve the Northeast Tower from both directions. This will allow the hospital the flexibility to balance the flows to the two City sewer systems as deemed necessary by the City.

Phase 3 Drainage Plan

The Drainage Plan for Phase 3 maintains the existing tributary areas draining to the Brea Dam Basin that flow to the east storm drain outlet and keep the area tributary to Valencia Mesa Drive flowing southwest. Any runoff currently directed toward Bastanchury Road can continue that direction via the Phase 2 storm drain connecting to roof drains at the north end of the Northeast Tower. BMPs will be provided for the new parking structure and near the outlet at the southerly property line.

Phase 3 Solid Waste Disposal

MG Disposal Systems, a division of Taormina Industries, provides solid waste disposal services for the area. Based on service projections and anticipated demand increase, an adequate level of service will be maintained.

D. Phase 3 Grading Plan

Earthwork activities in Phase 3 include grading for site improvements, the Northeast Tower, and CUP expansion. Any significant spoils from the expanded parking structure overexcavation may be used for raising grades for Drive “F” and/or hauled off-site. Detailed grading plans shall be submitted to the City for review and approval prior to the start of each development phase.

2.3.5 Phase 4 Plan Description

A. Phase 4 Site Plan

Phase 4 encompasses the development of the new North Wing, to be four stories plus a basement, at approximately 72,766 square feet and with a maximum height of approximately 65 feet, not including an 18-foot rooftop mechanical penthouse and a climate controlled semi-circular skybridge. The new North Wing could house administrative areas, meeting spaces and hospital support areas. In order to make room for expansion in this phase, the existing North Building, including the radiology, CT-scan, and linear accelerator facilities, and lobby will be demolished.

The skybridge connection, if built, would extend from the hospital's main lobby to connect to the existing pedestrian bridge that crosses over N. Harbor Boulevard, as shown in Exhibit 2.15, Phase 4 Site Plan. This skybridge/pedestrian connection would provide convenient and safe access from the main campus to the St. Jude Medical Office Building on the west side of N. Harbor Boulevard. Exhibit 2.16, Site Plan at Build-out shows a conceptual massing model of the project upon completion of Phase 4, at project build-out.

No beds will be decommissioned or added as a result of this phase, thus the project will maintain a total of 512 licensed beds, at 940,624 square feet.

B. Phase 4 Circulation Plan

No street, access, or parking lot development is included in this phase, although a skybridge connection over St. Jude Way will be provided from the entry of the new North Wing to the pedestrian bridge across N. Harbor Boulevard. This pedestrian bridge provides access to the existing St. Jude Medical Office Building, which is located on the west side of N. Harbor Boulevard. If built, the skybridge will be designed to allow traffic underneath the bridge on St. Jude Way to continue unimpeded. Phase 4 will not impact any parking spaces; the project will maintain a total of 1,524 parking spaces.

C. Phase 4 Public Services & Facilities

Water and sewer and storm drain services are provided and maintained by the City of Fullerton Maintenance Services Department, Water System Operations Division.

Phase 4 Water Plan

Water improvements for Phase 4 include extending the domestic service from the expanded CUP via the Northeast Tower.

Phase 4 Fire Plan

A Conceptual Fire Plan has been developed for Phase 4.

Phase 4 Sewer Plan

Sewer improvements for Phase 4 include extending the on-site sewer line in St. Jude Way to serve the new North Wing, similar to the existing condition.

Phase 4 Drainage Plan

The Drainage Plan for Phase 4 will maintain the existing condition by reconnecting the North Wing roof drains to the storm drain in St. Jude Way which then drains to Harbor Boulevard.

Phase 4 Solid Waste Disposal

MG Disposal Systems, a division of Taormina Industries, provides solid waste disposal services for the area. Based on service projections and anticipated demand increase, an adequate level of service will be maintained.

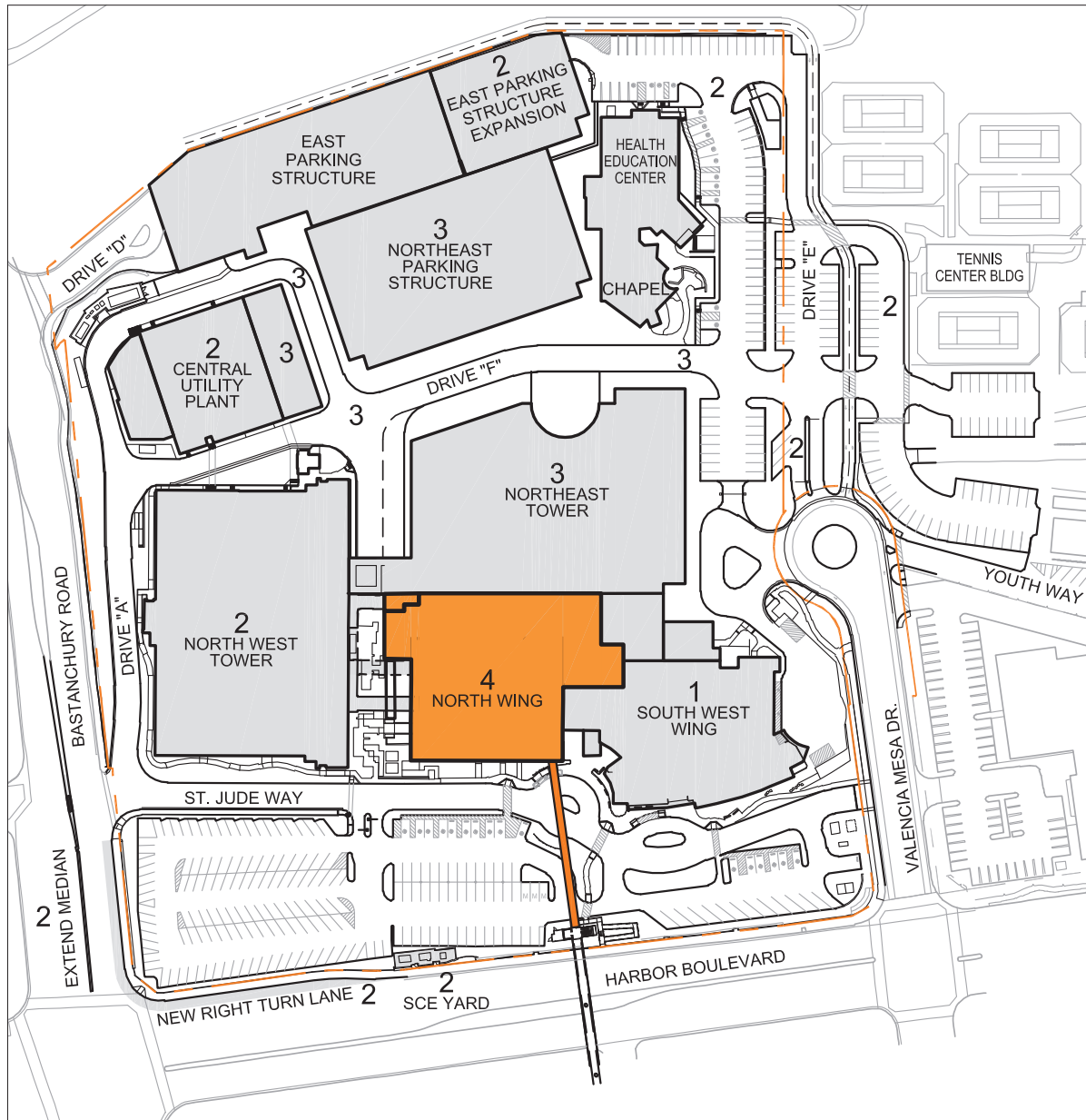
D. Phase 4 Grading Plan

Earthwork activities in Phase 4 include minor grading for demolition and reconstruction of the North Wing with few site improvements. Detailed grading plans shall be submitted to the City for review and approval prior to the start of each development phase.

2.4 Telephone and Cable Television Services

There are several public and private utility service providers that serve the St. Jude Specific Plan area. Although adequate facilities exist for

St. Jude Medical Center Replacement Plan



Phase 4 (2023-2030)

Demolition:

North Building (portion of main hospital) 125,929 s.f.
Lobby Addition to North Building 3,700 s.f.

New Construction:

North Wing, Lobby Reconstruction &
Skybridge Connection to Pedestrian Bridge 72,766 s.f.

PHASE 4 SUMMARY

Total at Beginning of Phase 4 997,487 s.f. / 512 beds
Total Spaces at Beginning of Phase 4 1,524 on-site

Total at End of Phase 4 940,624 s.f. / 512 beds
Total Spaces at End of Phase 4 1,524 on-site

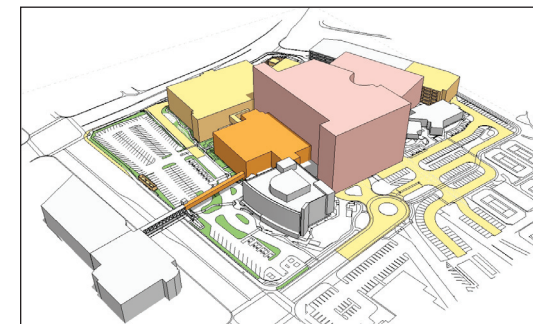
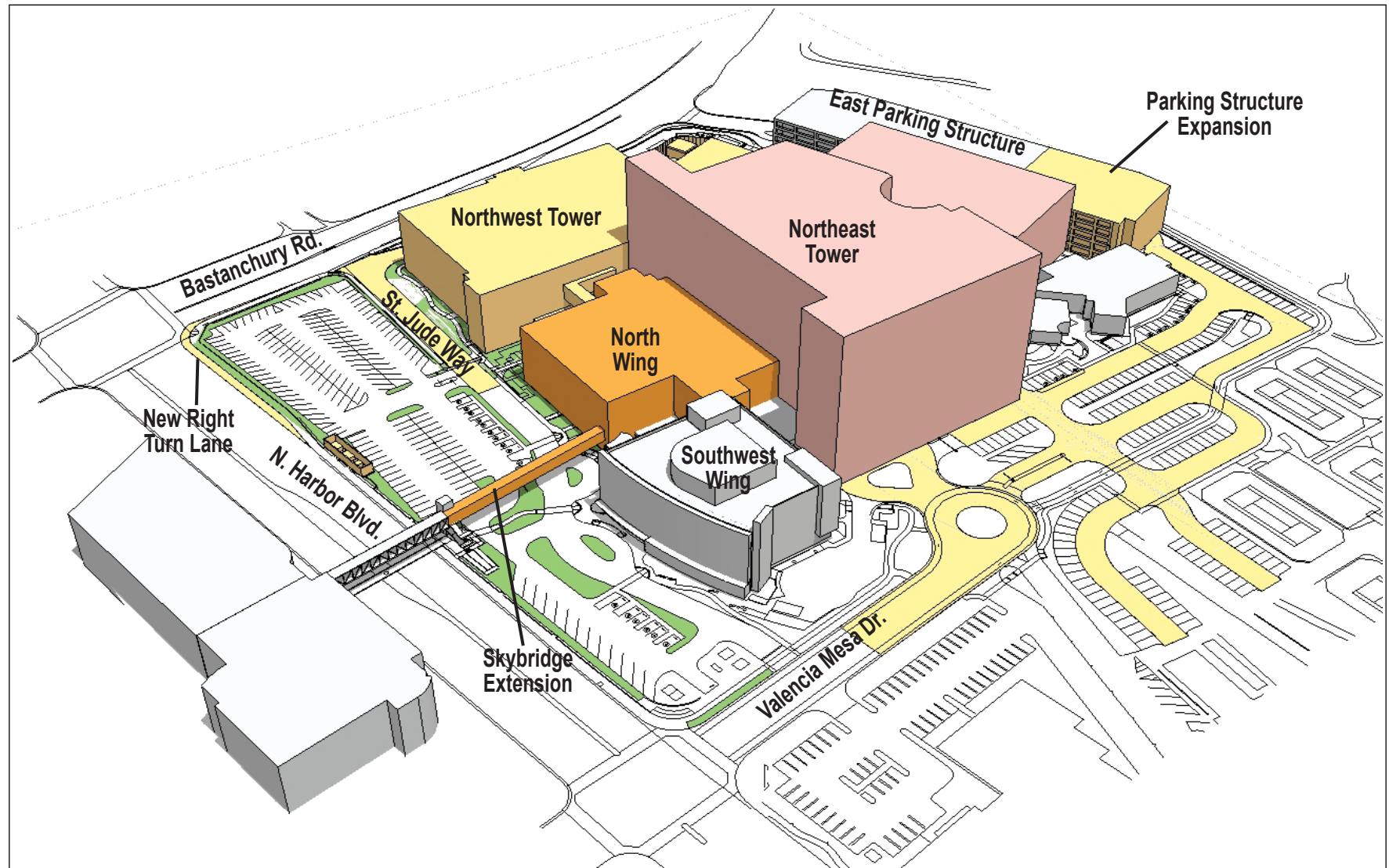


Exhibit 2.15, Phase 4 Site Plan

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Exhibit 2.16, Site Plan at Build-out

the current service needs of the area, additional facilities may be required as development occurs.

2.4.1 Telephone Service

Telephone service can be provided to the project area by a variety of telephone providers. As the project progresses, coordination should occur with the St. Jude Medical Center's telephone provider for potential expansion of existing facilities and installation of new service.

2.4.2 Cable Television Service

Cable television service within the City of Fullerton is provided by Time Warner Cable. SJMC may, at its option, coordinate with this provider for the installation of new service.

2.5 Energy

SJMC uses two primary types of energy: electricity and natural gas. The hospital has its own existing central plant facility. A new 14,000-square-foot Central Plant will be constructed in Phase 2 and expanded in Phase 3 by an additional 8,000 square feet. The Central Plant will consist of a one-story building with a height of approximately 25 feet above finished grade. To accommodate this building, the existing Ancillary Services Center (ASC) will be demolished.

2.5.1 Electricity

Electrical service to the area is provided by the Southern California Edison (SCE). Existing transmission and distribution lines are sufficient to service current needs, but may need to be enhanced to serve potential future needs. It is anticipated that SCE will be able to meet the energy needs of the SJMC facility now and at build-out. In addition, in Phase 2, an SCE yard will be constructed on the west end of the campus along Harbor Blvd.

2.5.2 Natural Gas

Natural gas service is provided to the Specific Plan area by the Southern California Gas Company (SCG). Adequate facilities exist for current needs, but may need to be enhanced to serve potential future needs. It is anticipated that SCG will be able to meet the energy needs of the SJMC facility now and at build-out.

2.6 Police and Fire Protection Services

2.6.1 Police Service

The City of Fullerton Police Department currently provides police protection services to the project site. The Police Department is located at 237 West Commonwealth Avenue.

The Police Department maintains a ratio of 1.1 sworn officers for each 1,000 residents in the City, and the required response time for an emergency call is six minutes. No increase in staffing is

anticipated in the foreseeable future. According to the Police Department the City is divided into three geographical zones in terms of provision of police protection services. The SJMC site is located in Zone 2, which encompasses the area west of Raymond Avenue, extending to Euclid Street.

2.6.2 Fire Protection Services

The City of Fullerton Fire Department provides both fire protection and paramedic services to the project site. The Fire Department employs a total of 27 personnel in seven different engine and/or truck companies in six stations spread out throughout the City. There are an additional 14 personnel in Administration and the Fire Prevention Division.

Fire equipment is distributed throughout the City. Station 4 of the City Fire Department, located at 3251 North Harbor Boulevard, is the closest station and would provide first response to the project site. During Phase 1B of the Proposed Project, a new fire hydrant would be constructed at the corner of Bastanchury Road and North Harbor Boulevard.

The project shall comply with existing City standards, the requirements of the Uniform Building Code, the provision of adequate fire flows, and fire access to the project site in accordance with requirements of the City of Fullerton Fire Department.

SJMC experiences the situation where paramedic vehicles with engine company park near the entrance to the emergency department and other adjacent driveways within the campus. These vehicles park for a time in front of the facility until they are cleared to leave. Some obstruction of the internal traffic circulation sometimes results. This situation will be rectified in the future by the redesign of the hospital and provision of a new emergency entrance in the Southwest Wing.

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3 ST. JUDE MEDICAL CENTER SPECIFIC PLAN DISTRICT

3.1 Intent and Purpose

This Chapter of the *St. Jude Medical Center Replacement Plan Specific Plan* establishes the St. Jude Medical Center Specific Plan District (SPD), which includes permitted uses and physical development standards. Permitted uses in this District shall relate to the District's primary hospital/medical center and related medical and business uses.

3.2 Definitions and Interpretations

The individual words and groups of words used in this Chapter are defined in Section 15.04.040 in the Fullerton Municipal Code. The standards in this Chapter of the Specific Plan supersede those of the Fullerton Municipal Code, unless otherwise stated herein. Where the language in this Specific Plan is unclear or vague, then the final interpretation and determination shall be made by the Director of Development Services. In such instances, the standards contained in this Specific Plan shall take precedence over the Municipal Code. If this Specific Plan is silent

St. Jude Medical Center Replacement Plan

on an issue, then the standards in the Fullerton Municipal Code or other applicable city, state, or federal code shall apply, as appropriate. The provisions in this Chapter are not intended to interfere with, abrogate, or annul any easement, covenant, or other agreement between parties.

3.3 Permitted Uses

Land uses in the St. Jude Medical Center SPD shall be permitted in accordance with Table 3-1 and the standards and provisions of this Chapter. Any use not listed in Table 3-1 may be permitted in the St. Jude Medical Center SPD, subject to a Conditional Use Permit, if the Director of Community Development determines that the use is similar to and consistent with uses permitted in the District. Conditional Use Permits, if required, shall be subject to the provisions of Chapter 15.70 of the Fullerton Municipal Code.

Legend

X = Denotes that the use is permitted.

CUP = Denotes that the use is permitted with the approval of a Conditional Use Permit pursuant to Chapter 15.70 in the Fullerton Municipal Code.

-- = Denotes prohibited use.

Table 3-1
Permitted Uses

Use	Comments	Use Status
Retail businesses (under 3,000 square feet or less in area)		X
Retail business (over 3,000 square feet in area)		CUP
Acupressure / Acupuncture	See Chapter 3.24 in the Fullerton Municipal Code	X
Adult Day Care		X
Agriculture		--
Adult use	See Chapter 7.95 in the Fullerton Municipal Code	--
Animal (small) hospital		--
ATMs		X
Automobile service station		--
Automotive parts, including installation		--
Automotive (including motorcycle, boat, trailer and equipment) sales, rental, storage, service or repair		--
Automotive sales, "single or multiple car display" dealer		--
Automotive wholesaler or broker with no car display		--
Bar		--
Bed and breakfast inn	See Section 15.55.030.A in the Fullerton Municipal Code	--
Cafeterias and dining rooms, as an accessory use to the medical center / hospital		X
Car rental agency		--
Carwash		--
Caretaker's unit	See Section 15.55.060.B in the Fullerton Municipal Code	X
Chapel (associated with hospital/medical center)		X
Child-care center	See Section 15.55.030.A in the Fullerton Municipal Code	X
Club or lodge, without living quarters		--
Club or lodge, with living quarters		--
Communication facility, commercial	See Section 15.55.020.B for the Fullerton Municipal Code	As specified in Section 15.55.020.B.

Legend

X = Denotes that the use is permitted.

CUP = Denotes that the use is permitted with the approval of a Conditional Use Permit pursuant to Chapter 15.70 in the Fullerton Municipal Code.

-- = Denotes prohibited use.

Table 3-1
Permitted Uses

Use	Comments	Use Status
Communication facility, noncommercial	See 15.55.020.C in the Fullerton Municipal Code	X
Conference center (5,000 square feet or less)		X
Conference center (more than 5,000 square feet) (traffic analysis required)		CUP
Copy shop (internal, related to hospital/medical uses)		X
Copy shop, retail		CUP
Copy shop, industrial		CUP
Dance hall, reception hall or related use		--
Dwelling units, as part of a mixed-use development		--
Financial institution		CUP
Flower carts/kiosks		CUP
Food carts/kiosks		CUP
Fortune-teller		--
Furniture refinishing shop		--
Furniture upholstery shop		--
Gift shop including, but not limited to, sales of stationery and cards, flowers, candy and food items (no cooking or food preparation permitted on the premises), ceramics and pottery, or other gift items		
Hazardous materials handling and temporary storage associated with daily operations of a hospital or medical center		X
Health club (for medical center employees and patients)		X
Health club (not associated with medical center)		CUP
Health facility; walk-in clinic (24-hour care)		X
Heliport (associated with emergency medical uses)	Requires a noise analysis to be prepared and submitted to the City.	CUP
Heliport (not associated with medical uses)		--
Home improvement center; hardware store		--
Hospital / medical center and accessory uses		X
Hotel	See 15.55.030.F in the Fullerton Municipal Code	--
Human service agency		CUP

St. Jude Medical Center Replacement Plan

Legend

X = Denotes that the use is permitted.

CUP = Denotes that the use is permitted with the approval of a Conditional Use Permit pursuant to Chapter 15.70 in the Fullerton Municipal Code.

-- = Denotes prohibited use.

Table 3-1

Permitted Uses

Use	Comments	Use Status
Interior designer office including showroom and sales		--
Intermediate care facility		X
Large group home	See 15.55.030.G in the Fullerton Municipal Code	--
Laundry and dry cleaning (associated with hospital / medical use)		X
Laundry and dry cleaning (not associated with hospital / medical use)		--
Manufacturing and sale of hand-crafted items		--
Manufacturing, processing, assembling of materials and products along with offices and storage incidental thereto as well as sales and repairs of products manufactured and materials directly related thereto.		--
Massage establishment (not related to physical therapy)	See Chapter 3.24 in the Fullerton Municipal Code	--
Mortuary / morgue		CUP
Motel	See 15.55.030.F in the Fullerton Municipal Code	--
Nursery		X
Office, general		X
Office, medical		X
Outdoor dining		CUP
Parking lot (exclusive use) or Parking structure		X
Pawnshop		--
Personal service facilities (includes barbershops, beauty shops, studios, etc.)		X
Pharmacy		X
Photo studio, industrial		--
Physical therapy		X
Poolroom	See Chapter 3.54 of the Fullerton Municipal Code	--
Public amusement room	See Chapter 3.54 of the Fullerton Municipal Code	--
Public parking area		X
Radiology, x-rays, imagery and laboratory uses		X

Legend

X = Denotes that the use is permitted.

CUP = Denotes that the use is permitted with the approval of a Conditional Use Permit pursuant to Chapter 15.70 in the Fullerton Municipal Code.

-- = Denotes prohibited use.

Table 3-1
Permitted Uses

Use	Comments	Use Status
Recording studio		--
Recreation, commercial		--
Religious institution (e.g., chapel, church, mosque, synagogue, temple; not affiliated with medical center)	See Section 15.55.030.D in the Fullerton Municipal Code	--
Repair shop		--
Residential care facility for the elderly	See Section 15.55.030.G of the Fullerton Municipal Code	X
Residential hospice care		X
Restaurant (2,000 square feet or less, without outdoor seating)		X
Restaurant (More than 2,000 square feet or less than 2,000 square feet with outdoor seating)		CUP
Restaurant with dance floor(s)		--
Retirement complex Types III, IV, V and VI	See Section 15.55.030.H in the Fullerton Municipal Code	--
Satellite dish antenna	See Section 15.55.020.C in the Fullerton Municipal Code	CUP
School, private	See Section 15.55.030.D in the Fullerton Municipal Code	--
School, trade (related to provision of medical services)		CUP
Self-service storage facility		--
Single room occupancy (SRO) residential hotel	See Section 15.30.090 in the Fullerton Municipal Code	--
Social service facility	See Section 15.55.030 in the Fullerton Municipal Code	CUP
Special event	See Section 15.55.020.D in the Fullerton Municipal Code	X
Swimming pools (as part of medical center; used all or in part for rehabilitation uses)		X
Swimming pools (not a part of medical center)		--
Swimming pools, sales and service		--
Temporary commercial use	See Section 15.55.020.E in the Fullerton Municipal Code	X
Theaters, auditoriums and gathering halls associated with the medical center		CUP

3.4 Limitations on Permitted Uses

- Retail businesses are those in which sales are made to the ultimate consumer for their own use. Sales to institutional, industrial, commercial, contractors, and professional consumers will be considered as wholesale transactions. If retail and wholesale activities are intermingled, the activity deriving the majority of the total gross annual receipts will predominate and be used to determine the principal business classification.
- No manufacturing, processing, assembling, or warehousing is permitted within the Specific Plan District.
- Regarding a permitted use, all activities shall be conducted within a building enclosed on at least three sides, except that the following may be outdoors:
 - Coin-operated vending machines, provided such machines are within 30 feet of the entrance to a commercial or hospital structure, within three feet of a building and do not obstruct pedestrian or vehicular circulation.
 - Food and beverage carts (without outdoor seating).
 - Flower stands.
 - A recycling facility in accordance with Section 15.30.080 of the Fullerton Municipal Code.

- Sales and consumption of food and beverages at restaurants with outdoor dining permitted.
- The display for sale, and the sale of, ceramics, including pottery and articles made of stone, marble, cement, plaster, and similar materials.
- The outdoor display and sale of merchandise by merchants on their own premises for a period of five consecutive days in any 30-day period.

3.5 Site Development Standards

3.5.1 General Development Standards

- Any area used for storage of equipment, and all loading and repair areas, except within service bays, shall be visually screened from all public streets and residential property by a minimum five (5) foot high decorative masonry wall, architectural feature, or by equivalent landscaping.
- Trash enclosures shall be screened from all public streets and residential property by a minimum five- (5) foot high enclosure; trash enclosures shall be exempt from maximum height limits.
- All lighting shall be designed and located so as to confine direct rays to the premises and not create glare to private streets or to nearby residential or recreational uses.

- When a building is proposed over two or more lots, the lots shall be combined as prescribed in Title 16 of the Fullerton Municipal Code.
- Building walls are subject to building code requirements for a one-hour firewall when within ten (10) feet of a property line.

3.5.2 Permitted Building Height

The maximum building height shall not exceed eleven (11) stories or 190 feet (excluding basements), whichever is greater. Building height at any given point shall be measured from the existing grade. Exceptions to this requirement may be permitted subject to Director of Community Development approval.

3.5.3 Floor Area Ratio

The floor area ratio for the overall Specific Plan area shall not exceed 1.70. Any increase in floor area ratio above 1.70 shall require a Specific Plan Amendment.

3.5.4 Setbacks

- All buildings shall be set back a minimum of thirty (30) feet from the North Harbor Boulevard ultimate public street right-of-way; provided, however, that the skybridge/pedestrian bridge over Harbor Boulevard is exempted from this requirement.
- All buildings shall be set back a minimum of twenty (20) feet from the Bastanchury

Road ultimate public street right-of-way, and eight (8) feet from the Valencia Mesa Drive public street right-of-way.

- There are no required building setbacks from any internal private drives; provided, however, that the Director of Community Development shall review a Site Plan for each project phase that includes the location of all buildings and their relationship to one another and to the surrounding energy source.
- Setbacks shall be measured from any property line, ultimate public street-right-of-way, or private street face-of-curb.
- Parking areas shall be located not closer than five (5) feet from any property line; provided, however, that this condition may be waived by the Director of Community Development if physical conditions do not allow for such a setback in isolated instances.
- An average landscape setback of ten (10) foot is required from the edge of the ultimate public street right-of-way on Bastanchury Road, N. Harbor Boulevard, and Valencia Mesa Drive. Sidewalks, bus shelters and bus stops, and bicycle/multi-use trails are permitted in the required setback area.

3.5.5 Vision Clearance Requirements

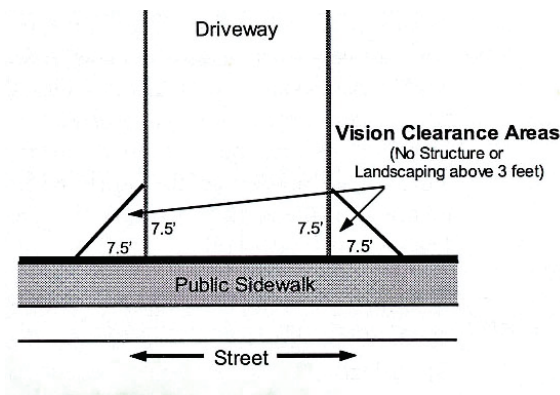
- Within a vision clearance area as defined by Section 15.30.050.C.8 of Fullerton Municipal Code or as defined by the Caltrans Highway

Design Manual, nothing may obstruct a clear view.

- Where a driveway access exists, no building wall, fence or landscaping over three feet in height shall be permitted in triangular vision clearance areas on either side of driveway (see exhibit, below). Each clearance area shall have one point at the intersection of the driveway and the street line, one point seven and one-half feet along the street line away from the driveway, and one point seven and one-half feet along the driveway line.

3.5.6 Permitted Site / Open Space Coverage

All buildings including accessory buildings and structures, as well as any area used to provide parking or vehicular access, shall not cover more than 85 percent of the entire St. Jude Specific Plan area. Each of the four development phases must maintain a minimum of 15 percent of the



Specific Plan area as open space. The amount of open space shall be measured at the end of each phase, since the minimum open space requirement may not be achieved during the site construction stages.

3.6 Fences and Walls

The height of fences and walls on property in the Specific Plan District shall be in accordance with Table 3-2, Maximum Height for Walls and Fences.

Table 3-2
Maximum Heights for Walls and Fences

Location	Maximum Height
Within a street setback area	Three (3) feet. A non-view-obscuring fence as high as eight (8) feet may be approved by the Director of Development Services. In reviewing such applications, the Director of Development Services shall consider the proposed construction materials, compatibility with neighboring properties, vision clearance, and other factors as necessary. The applicant may appeal the Director's decision pursuant to Chapter 15.76 of the Fullerton Municipal Code.
Not within a street setback area	No maximum. Walls must comply with permitted building height.
Within a vision clearance area	Three (3) feet. (The height applies to any feature that could block a clear view of traffic across a vision clearance area.)
Trash enclosure	Five (5) feet minimum; trash enclosures shall be exempt from maximum height limits.
Child-care center	Six (6) feet.
Note: Utility screening is exempt from maximum heights specified for walls and fencing, including trash enclosures. Please refer to Section 4.2.5 and 4.4 for further exceptions.	

3.7 Landscaping Requirements

- Except for plazas, bus stops/shelters, sidewalks, bicycle/multi-purpose trails, and driveways and walkways used for street access, all required street setback areas shall be landscaped.
- In addition to the landscaping within the required street setback areas, landscaped areas equal to 25 square feet per parking space, or eight percent of the total parking area, whichever is greater, shall be provided on the property. Parking lot landscaping shall be reasonably distributed throughout the parking area. This standard only applies to surface parking lots, not to parking structures. There is no landscape requirement for parking structures.
- All landscaped areas must be provided with irrigation facilities and be permanently maintained.
- Except as modified in this Chapter, all landscaping and irrigation systems and plans shall conform to Section 15.50 in the Fullerton Municipal Code. Where there is a conflict in landscaping requirements between this Specific Plan and the Municipal Code, the standards and provisions of this Specific Plan shall prevail.
- All landscape drawings and plans shall be prepared by a landscape architect licensed in the State of California. Installation of plantings and hardscape materials within

the SJMC campus shall be overseen by a licensed landscape architect as well.

3.8 Parking, Access and Circulation

3.8.1 Required Parking

- Any building in the Specific Plan District which is constructed, reconstructed, structurally altered or subject to a change of occupancy or use shall be provided with permanently maintained, off-street automobile parking facilities .
- Automobile parking facilities shall be as follows:
 - Acute care hospital: 1 space per licensed bed, subject to City approval of a Parking Management Plan to be prepared for each phase.
 - All other health-related facilities: 1 space per 5 licensed beds
 - Medical office uses: 5.5 spaces per 1,000 gross square feet
 - Professional office uses: 4 spaces per 1,000 gross square feet

Such parking facilities shall be made permanently available and maintained for parking purposes. The required parking spaces may be located on- or off-site, provided that parking for visitors and hospital patients shall be on-site and conveniently located to building entries and access points.

- Handicapped parking shall be provided in accordance with Title 24 of the California Building Code. Handicapped spaces shall be located as close to the building as feasible.
- At SJMC's option, this Specific Plan allows a universal parking space size of 8.5 ft. wide by 19 feet long, provided that any space adjacent to a wall shall have a minimum width of 9.5 feet.
- Aisles in parking lots and parking structures shall comply with the aisle requirements of the City of Fullerton; provided, however that a Universal parking stall size of 8.5 feet by 19 feet is permitted.

3.8.2 Parking

A. Parking Management Plan

SMJC shall prepare a Parking Management Plan (PMP) as noted in Section 2.3.3 A to analyze parking supply and demand. The PMP shall be subject to review and approval by the Community Development Director and should address the following issues:

- Quantify parking supply by type and location (i.e., compact, handicap, motorcycle/bicycle, surface lot, structure, valet, etc.).
- Quantify parking demand by user group (employees, doctors, patients, visitors, etc.).
- Include a map showing location of parking areas and indicating access, parking restrictions and user groups.

- Identify means of access to and from off-site parking (i.e., shuttle, walking path, etc.).
- Identify transportation demand management strategies to reduce parking demand.
- Identify trigger for implementation of parking improvements.

B. Reduction in Required Parking

Vanpool and carpool parking may be provided on-site at the option of SJMC. Where provided, a reduction in parking requirements may be permitted. The exact parking reduction shall be determined in consultation with the Director of Community Development or his/her designated representative.

C. Off-Site Parking

- SJMC shall maintain an adequate supply of parking on-site or in suitable off-site areas to meet the needs of employees during the construction phases. If off-site parking is utilized, the parking areas shall be located within 1/4-mile of the site, or a shuttle shall be provided to transport employees from the main hospital campus to the remote parking area(s).
- Any area(s) used to provide off-site parking shall not have a demand for parking during periods of expected hospital use that will result in parking shortages that affect other parking areas.

D. Employee Parking

- SJMC and the construction contractor(s) shall direct their employees not to use designated public parking areas for employee parking.
- Private parking areas may be used for SJMC or contractor employee parking, but only if SJMC and/or the contractor(s) has/have secured an agreement to allow their employees to park in these locations.
- The contractor(s) shall maintain adequate parking area(s) for construction employees within the area of construction, or in suitable areas where there is no other demand for parking. Construction Parking for construction employees may either be on-site or off-site.

3.9 Transportation Demand Management Strategies to Reduce Single Occupant Vehicles

3.9.1 Applicability

This Section shall apply to all development within the Specific Plan District.

3.9.2 Facility Standards

- Secure, adequate and convenient storage for no less than 20 bicycles shall be provided prior to occupancy of the Northwest Tower in Phase 2.
- A bus bay and bus stop shall be provided, as required by the City of Fullerton and OCTA, on N. Harbor Boulevard and/or Bastanchury Road.
- A kiosk or other commuter information area shall be provided in a central location in the Specific Plan area that is accessible to all employees and tenants. Information shall include, but not be limited to, current maps, routes and schedules for public transit (OCTA).
- The medical center shall provide shower and locker room facilities for employees of each sex that walk or bike to work. If such facilities are provided, no less than two shower stalls and 24 lockers shall be provided for use by each gender. Said facilities shall be provided for prior to the certificate of occupancy of the Northwest Tower in Phase 2.
- Sidewalks or other paved pathways following direct and safe routes from the external pedestrian circulation system to each building on the SJMC campus shall be provided wherever space allows.

3.10 Recycling Facilities

Recycling facilities are permitted subject to the requirements of this District and Section 15.30.090, Recycling Facilities, in the Fullerton Municipal Code.

3.11 Signage Standards and Regulations

3.11.1 Intent and Purpose

The purpose of this Chapter is to regulate the size, height, design, quality of materials, construction, illumination, location, and maintenance of all signs and sign structures within the St. Jude Medical Center Replacement Plan Specific Plan area. The provisions of this Chapter shall apply to all signs in the Specific Plan area, either placed in the ground or installed or placed on the outside of a building or structure. In addition, these provisions shall apply to signs placed on the inside of buildings or structures so as to be visible from the outside.

Unless otherwise stated, these regulations supersede and replace those identified in Chapter 15.49, Sign Standards and Regulations, of the Fullerton Municipal Code.

Where this Chapter is silent, the provisions of the Fullerton Municipal Code shall apply. If there is a conflict between this Chapter and the City's Municipal Code, then the Director of Community Development shall make a determination as

to which conditions and standards shall apply. Should any article, section, subsection, sentence, clause or phrase in this Chapter, for any reason, be held unconstitutional or invalid, such decision or holding shall not affect the validity of the remaining portions of this Chapter. It is the intent of the City Council of the City of Fullerton, California, to enact each section, and portion thereof, individually, and each such section shall stand alone, if necessary, and be in force regardless of the determined invalidity of any other section or provision.

3.11.2 Definitions

The signage definitions described in Section 15.49.015, Definitions, in the Fullerton Municipal Code shall apply.

3.11.3 Design Standards for Signs

A. Signs Prohibited or Conditionally Approved

The following signs shall be prohibited:

1. Any sign that confuses traffic such as any advertising sign visible from any street that makes use of the words "STOP," "GO," "LOOK," "DANGER," and any sign that may momentarily or otherwise blind or substantially impair the vision of an operator of a motor vehicle upon any street or otherwise constitutes a traffic hazard.

2. Any off-site advertising, including a billboard, except as provided herein for an off-site directional sign.
3. Rotating, motorized, and flashing signs.
4. A portable sign on any property, with the exception of A-frame signs that shall conform to adopted design criteria and shall be permitted by a special sign encroachment permit.
5. Any inflatable device and sign designed to be flown, including balloons, strings of balloons, kites, and aerial signs.

B. Permission of Property Owner

No sign permit shall be issued for the construction, erection, installation or relocation of any pole or monument sign unless the owner of the property makes the request or unless written consent of the property owner is documented. A sign permit that is issued for a sign and/or a sign structure shall allow the Director of Community Development or an authorized agent to enter upon such property at all reasonable times for the purpose of carrying out the provisions of this Chapter.

C. Design and Placement of Sign Structures

Guidelines for design and placement of signs are discussed in Section 4.5, Signage Guidelines, in this Specific Plan.

D. Signage Program Required

1. Because of the unique conditions associated with the St. Jude Medical Center and its associated facilities and uses, including the need for people and vehicles to navigate around and through the project site quickly and efficiently, a comprehensive sign program shall be required for each phase of the four project phases. The Signage Program shall be submitted to the Community Development Department for Plan Check Review prior to issuance of any certificate of occupancy for each phase.
2. The Signage Program submittal package shall include the following:
 - a. A Site Plan indicating the location of all proposed signs in the Specific Plan area.
 - b. A Color and Materials board with actual samples of actual colors and materials .
 - c. A Signage Plan indicating the location, size, height, colors, materials and advertising copy of all proposed signs. Method of attachment must be included on wall signs. Plans for freestanding signs (monument or pylon signs) must include a landscape planter area equal in square footage to four times the size of the sign face.

E. Signage Program Review Process

1. Prior to the issuance of any certificate of occupancy for each phase (i.e., Phases 1A/1B, 2, 3, and 4), a Signage Program shall be submitted to the Development Services Department for Plan Check Review for the phase in question. The Director of Community Development shall make one of the following determinations: (1) the application is incomplete and requires additional information for an informed decision to be made; (2) the application is complete and complies with the intent and standards in this Specific Plan and, therefore, the application request is approved, effective immediately; or (3) the application is complete, but the Signage Program does not meet the intent and standards of this Specific Plan, so the request for approval is denied.
2. The applicant shall have the right to appeal any decision made by the Director of Community Development regarding the Signage Program to the Planning Commission. All decisions made by the Planning Commission shall be final.
3. Applications denied by the Director of Community Development may be reworked and revised and resubmitted to the Director for additional review.

F. Exemptions and Special Provisions

1. The following signs shall be exempt from the design standards specified within this Chapter. A building permit may still be required for the construction, erection or relocation of the sign, depending on its size, height and whether it will be lighted.
 - a. Name plates or occupational signs not exceeding two square feet in area, containing only the name and occupation or profession of the occupants of the premises on which the sign is displayed.
 - b. Identification signs not exceeding 35 square feet in area and not exceeding ten feet in height.
 - c. A sign relating to or identifying construction projects, during the construction period.
 - d. Memorial signs or tablets.
 - e. A temporary sign intended to be displayed for a short period of time not to exceed 30 days in any six-month period that otherwise conforms to the provisions of this chapter.
 - f. A sign painted on a wall, window or door of buildings with a total copy area of no greater than 16 square feet.
 - g. A change of copy to an existing sign structure already installed or erected.
 - h. An on-site directional sign under six feet in height.
 - i. A real estate for sale or lease sign.
 - j. An election/campaign sign.
 - k. Signs located inside a building, except where the sign is painted on an exterior window or door, or so placed as to be viewed primarily from outside a building.
 - l. Traffic, governmental and public utility signs required or authorized by law.
 - m. Legal notices.
 - n. A sign relating to or identifying a function sponsored by a public agency or non-profit organization, provided that the sign is not installed any earlier than 30 days prior to the event and is removed within three days after the event.
 - o. The installation, hanging or any placement of a banner, streamers or pennants on property, other than inside of a building, shall require the issuance of a sign permit.
2. The Planning Commission shall have authority to grant a Variance from the design standards specified within this Chapter when, because of special circumstances, the compliance with said provisions would deprive the property owner or tenant of privileges commonly enjoyed by other properties in the same vicinity. In order for the Planning Commission to grant a Variance, the applicant must meet the

requirements of State law pursuant to Chapter 15.68 of the Fullerton Municipal Code.

G. Maintenance of Signs and Sign Structures

1. All signs and sign structures shall be kept free of any material including unauthorized election/campaign signs and other signs not approved by the original or subsequent permits.
2. The area beneath and about the base of all signs and sign structures shall be kept free of all weeds, rubbish, and inflammable waste material by the owner of the sign and sign structure.

H. Removal of Signs and Sign Structures

1. The Director of Community Development shall remove, or cause to be removed, any sign, including the sign structure, that advertises a business conducted, or a product or service obtainable on the premises upon which the sign is located, within 90 days after such business is closed or terminated, or the products or services are no longer obtainable on such premises.
2. To cause a sign to be removed, the Director of Community Development shall send a written notice ordering that the sign and sign structure be removed within 90 days. An additional notice shall be sent within 30 days of the removal date.

3. The order of removal may be appealed to the City Council when so filed with the City Clerk. The City Council shall, at an advertised public hearing, receive any evidence offered pertaining to the request for an order of removal and shall make findings of fact of its determinations, decisions and order.

I. Enforcement

1. A sign or sign structure that is found to be in violation of this chapter is hereby declared to be a public nuisance and as such shall be subject to the provisions of Chapter 6.01 of the Fullerton Municipal Code.
2. The signage standards and regulations set forth in Chapter 15.49 of the Fullerton Municipal Code shall apply to all development in the Specific Plan area with the following exceptions:
 - a. Each individual wall and monument sign may have a total surface area of up to 250 square feet (includes both sides of the sign). For example, a monument sign could be 250 square feet on one face, but then no signage would be permitted on the other sign face. Sign proportions should relate and look appropriate to the wall area they are placed on.
 - b. There is no maximum signage allowance in the Specific Plan area. The amount of signage permitted in each phase will be determined by the Director of Community Development during Plan Check Review of the Signage Program prior to implementation of each phase. If the proposed signage is consistent with the guidelines, standards, and intent contained in this Specific Plan, then the Director of Community Development shall approve the Signage Program.
 - c. One monument sign may be provided for each entry/exit from Bastanchury Road, N. Harbor Boulevard or Valencia Mesa Drive.
 - d. All signage must be architecturally consistent with the overall building theme, and, if lighted, may be either internally or externally illuminated. If externally illuminated, light source shall be hidden or screened from public view.
 - e. Directional signs are permitted. Such signs shall have a maximum height of ten (10) feet.
 - f. No roof-mounted signs shall be permitted, except for signage related to heliport operation.
 - g. Portable frame signs (i.e., sandwich board signs) are permitted in relation to conference events and other special events, but shall not be located on or near public roadways. These signs shall be located no closer than 50 feet from any public street right-of-way and may not be used for longer than 14 consecutive days.
 - h. Identification signs may be either internally or externally illuminated. If externally illuminated, light source shall be hidden or screened from public view.
 - i. One (1) permanent freestanding or building mounted electronic message board sign shall be permitted on the SJMC campus and may, at SJMC's option, be substituted for portable frame signs announcing special events or conferences to eliminate sign clutter. The sign, if erected, should be placed on-site but shall not be located on or adjacent to public street rights-of-way. The sign shall be located no closer than 50 feet from any public street rights-of-way. The maximum copy area shall be three feet by eight feet and single-sided. The sign shall not exceed 15 feet in height as measured from grade.

3.12 Lighting Standards

All exterior lighting on-site shall comply with City of Fullerton standards for night time illumination. Exceptions, waivers and modifications to the City's lighting standards and requirements may be permitted subject to approval by the Director of Community Development ; provided, however, that it can be demonstrated that the public's health, safety and welfare would not be negatively impacted by the change in lighting requirements.



4 DESIGN GUIDELINES

4.1 Introduction to Design Guidelines

The following design guidelines have been formulated to provide an overall vision for development in the St. Jude Medical Center Specific Plan District (SPD) and will guide implementation of the project over four phases and a 26-year period.

These guidelines establish a flexible design framework and criteria that designers and developers will use as a guide for new development, and which the City of Fullerton will use to evaluate development proposals in the SPD. In addition, these guidelines will assure the City that individual improvements will conform to a consistently high standard of design that ensures compatibility with the surrounding areas and enhances the overall community image.

All proposed development in the SPD shall substantially conform to these Design Guidelines. The City shall review future projects for conformance with these guidelines during the Site Plan Review process, which is described in its entirety in Chapter 5 of this document.

4.2 Architectural Guidelines

The primary impetus for the St. Jude Medical Center Replacement Plan Project arises from the California SB1953 seismic safety legislation; however the forward-thinking architectural design and construction of each phase will result in the enhancement of this key community asset.

Through a phased approach, SJMC will replace and enhance its campus through the construction of building additions, renovations, and new wings that will allow SJMC to continue providing superior healthcare to the City of Fullerton and north Orange County well into the 21st Century and beyond. In contrast to completing the campus replacement all at one time, this phased approach will allow current health care advances to be integrated into the design and planning of each future addition with minimal disruption to the hospital's ongoing operations. In addition, this strategy will allow SJMC the necessary time to secure funding and to broaden capital investments over a long time horizon.

The hospital improvements will occur over a 26-year period in four distinct phases. Because of the long-term nature of this project, it is not possible at this time to include detailed architectural design guidelines for all phases. Instead, this document includes fairly detailed guidelines for Phase 1, and broad, general guidelines for the Phases 2, 3, and 4 architecture.

4.2.1 Architecture Overview

The first new wing to be constructed as part of the St. Jude Medical Center Replacement Plan Project is the Southwest Wing in Phase 1. The exterior building systems used at the lower levels of the buildings are anticipated to be a mixture of stone, reinforced masonry, concrete, exterior plaster, or similar systems. An exception to those previously described systems would be exterior glazing systems that may be used in specific areas, such as entries, that are intended to convey openness. In most cases, the greater part of the exterior color palette will be neutral tones with feature colors introduced to highlight and distinguish the building.

Future phases will be added over an extended timeline, and they will benefit from new building practices and technologies. The taller buildings will be located in the middle of the campus, and will be somewhat screened by the lower buildings. Also, these structures will be designed using exterior building systems that have a “lighter” materiality (such as a greater percentage of glass) to promote the perception of their mass decreasing in scale at the upper stories. The exterior building systems used at the lower levels of the buildings will most probably be a mixture of stone, reinforced masonry, concrete, exterior plaster, or similar systems. An exception to this approach will be the exterior glazing systems that may be used in areas, such as entries, that are designed to convey a feeling of openness and light. In most cases, the greater

part of the exterior color palette will be neutral tones with feature colors introduced to highlight and distinguish the unique quality of this facility.

As the enhancement of the campus continues to evolve beyond the Southwest Wing (Phase 1A), the future building designs shall be designed to be consistent with and will complement the Southwest Wing.

The planning of future SJMC structures will promote greater operational efficiency and enhanced patient satisfaction through the relocation, replacement, and enhancement of the services provided within them.

The campus building systems, services, material management, and staff parking functions will generally be relocated to the east side of the campus, so that the patient/visitor services and parking may be better consolidated to promote more effective vehicular/pedestrian access and circulation on the west side of the campus. For the planning of future phases in particular, locations described for the hospital inpatient and staff areas, medical departments, and support locations described for hospital inpatient and staff areas, medical departments, and support space are best assumptions. It is expected that the needs of SJMC will change over the next two decades as healthcare evolves, and consequently, the facility will be required to adapt to those needs.

4.2.2 Orientation and Massing

- Exhibits 4.1a-4.1b, Building Massing at Phase 4 Build-out, depict the general massing of each phase, as well as the overall composition and juxtaposition of the buildings at project build-out.
- Exhibits 4.a, Architectural Elevations, depict the detailed massing of the four-story Southwest Wing, which will be constructed in Phase 1A. The massing of the Northwest in Phase shall be similar to the massing for the Southwest Wing.
- The Northeast in Phase 3, will extend up to 171 feet in height. To visually reduce the massing and scale of these buildings, the design of the buildings shall make use of more glass and less concrete. At the discretion of SJMC, the buildings may use more visually massive materials for the exterior of the first few floors in order to blend in with the Southwest and Northwest Wings, while using more glass as the building extends above the first few stories.
- Building location, massing and orientation should provide a balance in form and composition.
- Building massing should possess a balance in form and composition; large flat unarticulated building elevations shall not be permitted adjacent to a public street.
- Building entries should be visible and easily identifiable — a clearly defined, primary pedestrian entry, with an enhanced hardscape foreground is encouraged.
- Building design should avoid a single dominant mass. Variations in massing should include changes in height and horizontal plane. Massing breaks can include columns, colonnades, trellises, roof overhangs, wall segment textures, and changes in materials, patterns or color.
- Building entries should be emphasized by design features such as overhangs, recesses, walls, and roof forms that are integrated into the overall building design. Greater height can be used to highlight and accentuate entries.

4.2.3 Pedestrian Orientation

- Courtyards or plazas will be incorporated into building layout and design to provide comfortable pedestrian spaces. At a minimum, a new plaza shall be created in front of the new lobby and a courtyard will be created facing the Northwest Tower between the Northeast Tower and North Wing. These spaces should feature elements that enhance the pedestrian experience such as fountains, trellises, roof overhangs, umbrellas, shade trees, comfortable tables, chairs and benches, kiosks, etc.

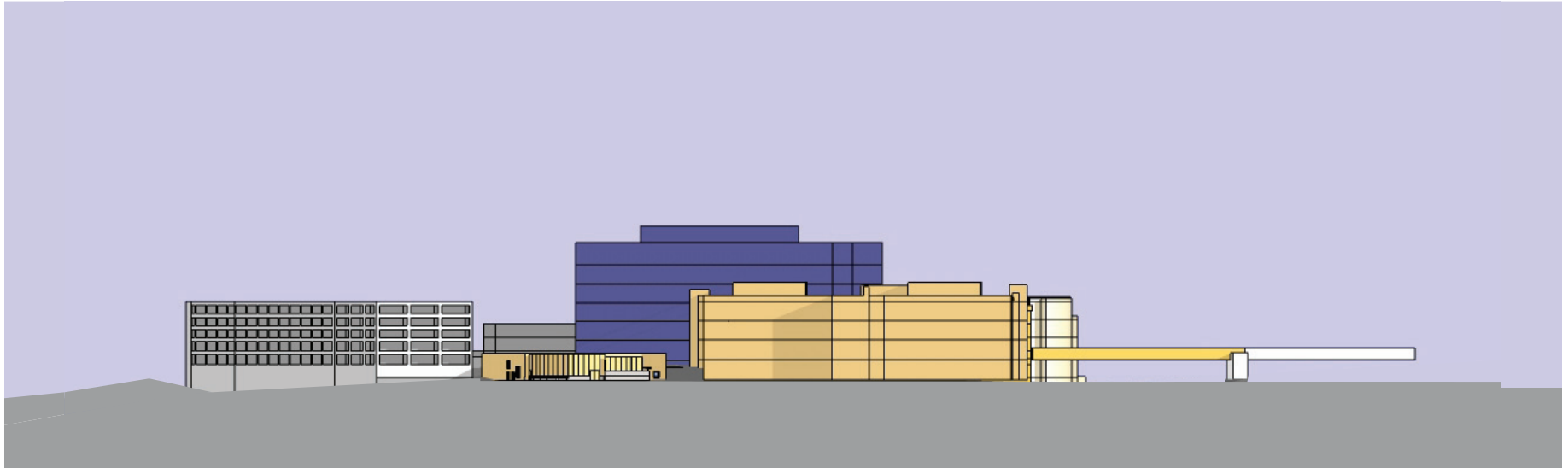
- Special landscape treatments and enhanced paving should be used in plazas, courtyards, and other similar spaces to accentuate their importance as people-oriented spaces and to provide human scale.
- Intersection nodes, where both vehicular and primary pedestrian activities occur, should feature enhanced paving to signify the mix of these activities.
- Parking areas should provide clearly defined pedestrian circulation to the buildings served by the parking area.

4.2.4 Building Colors and Materials

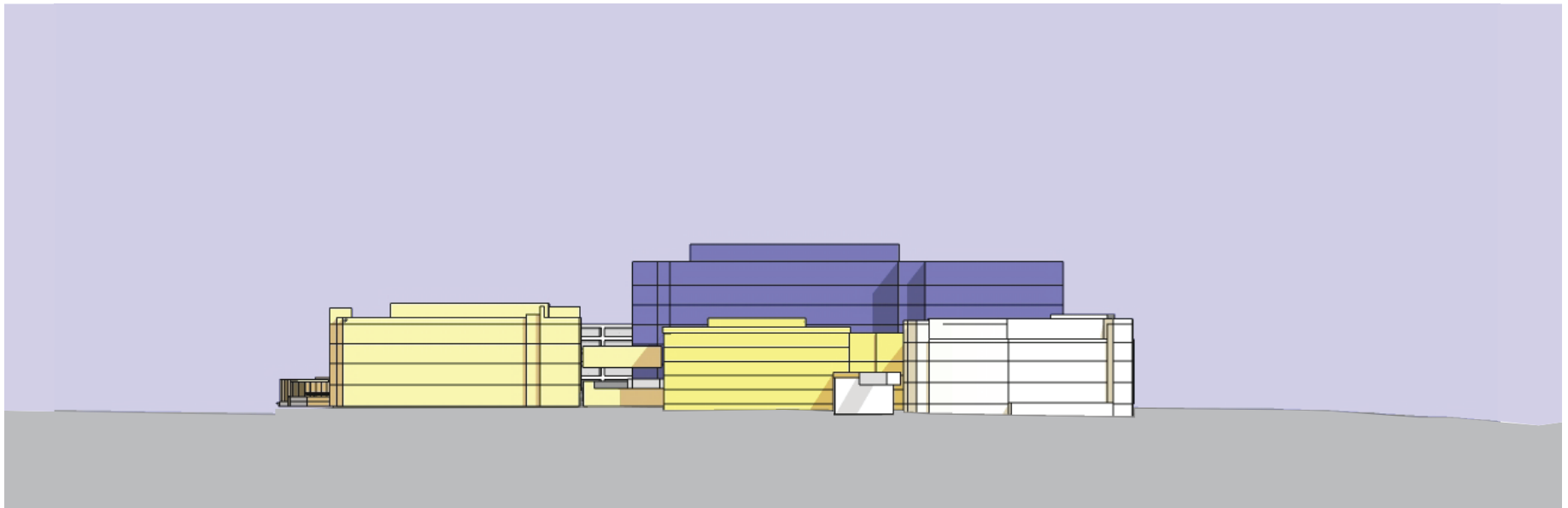
- Building materials, colors and finishes shall be chosen from a palette of subtle neutral tones with splashes of deeper or brighter colors used as accents to provide visual interest. Colors may be used to create interesting juxtapositions. (See Exhibits 4.2a-d, Architectural Elevations.)
- Glazing should be tinted with high-performance (Low-E) materials. Glazing colors, transparency and reflectiveness shall be limited to green, blue and light gray shades. Clear or lightly tinted glazing is also acceptable.
- Acceptable building materials can include concrete, metal, glass and/or other contemporary composites. These materials may be used in any combination.

4.2.5 Mechanical Equipment

- Ground-mounted mechanical equipment shall be screened from view by walls or fences compatible with the building architecture to the extent allowed by the City and the utility companies.
- Roof-mounted mechanical equipment shall be screened from ground-level views through the use of parapet walls similar in design to the building architecture.
- All utility meters should be screened from view to the extent allowed by the City of Fullerton and the utility companies.
- All flashing, sheet metal, and vents should be painted or screened from view in a manner that is compatible with the building architecture.
- Mechanical equipment shall be screened from view of adjacent property. Mechanical equipment shall not be exposed on the wall surface or roof of a building. Screening material and color shall be compatible with the overall building design and colors.



North Elevation



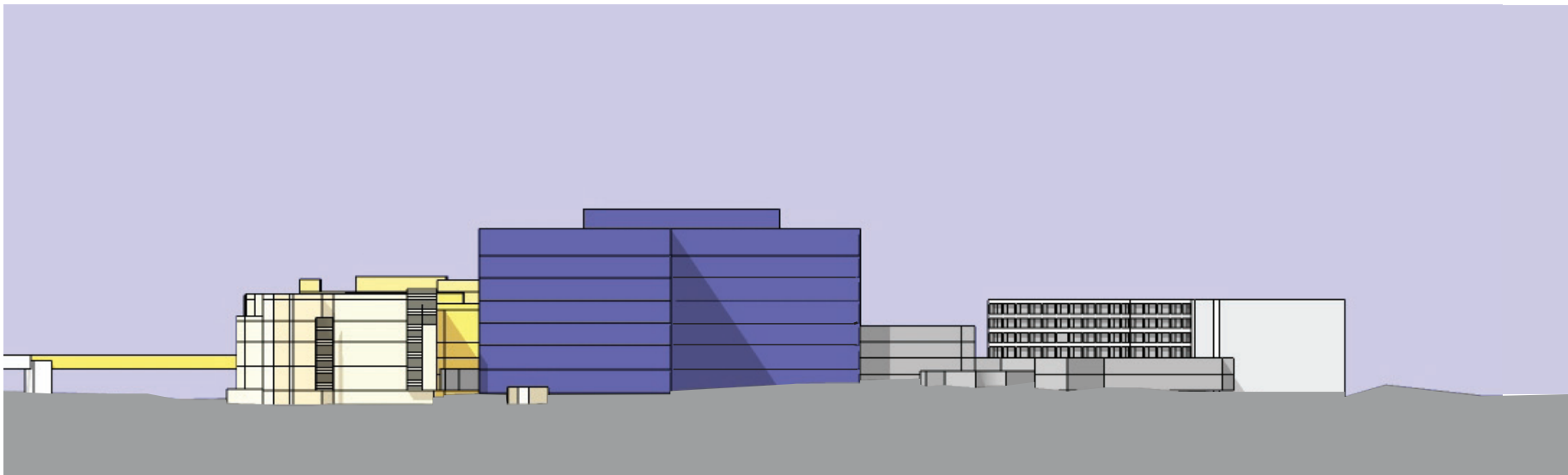
West Elevation

Note: Conceptual architectural massing at project build-out. Actual architectural massing should generally conform to massing depicted in this exhibit.

St. Jude Medical Center Replacement Plan



East Elevation



South Elevation

Note: Conceptual architectural massing at project build-out. Actual architectural massing should generally conform to massing depicted in this exhibit.

Exhibit 4.1b, Building Massing at Phase 4 Build-out



View looking at Northwest Elevation



View looking at Northeast Elevation

Note: Conceptual architectural massing for Phase 2. Illustrations are intended to provide guidance to decision-makers and City staff in determining actual architecture during Site Plan Review process.

St. Jude Medical Center Replacement Plan



View looking at North Elevation

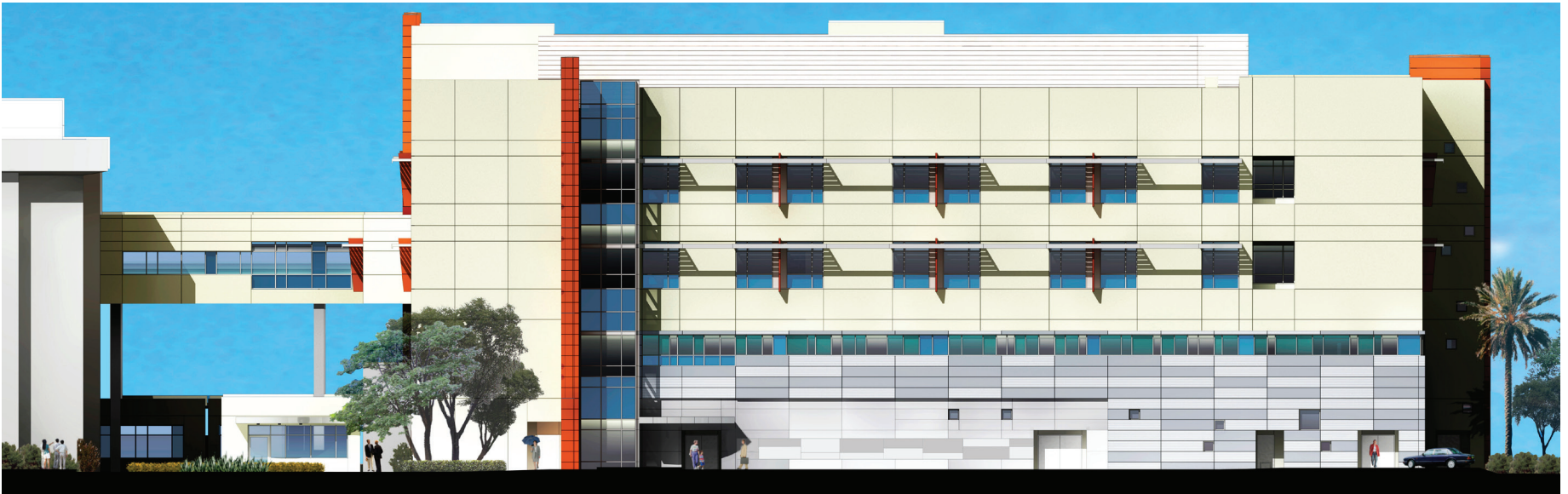


View looking at West Elevation

Note: Conceptual architectural massing for Phase 1. Illustrations are intended to provide guidance to decision-makers and City staff in determining actual architecture during Site Plan Review process.



View looking at South Elevation



View looking at East Elevation

Note: Conceptual architectural massing for Phase 1. Illustrations are intended to provide guidance to decision-makers and City staff in determining actual architecture during Site Plan Review process.

St. Jude Medical Center Replacement Plan



View looking at Southwest Elevation

Note: Conceptual architectural massing for Phase 2. Illustrations are intended to provide guidance to decision-makers and City staff in determining actual architecture during Site Plan Review process.

4.3 Landscape Architectural Guidelines

4.3.1 Landscape Concept Plan

The Landscape Concept Plan for SJMC will play an important role in implementing this Specific Plan. The Plan will be implemented in four distinct, logical phases. Landscape for Phase 2 is depicted in Exhibit 4.3. A mix of deciduous and evergreen trees and shrubs have been carefully selected to help identify circulation routes, spatial hierarchies, and public spaces. In addition, the plant palette will provide important shade, visual screening, and improve the aesthetic appearance of the hospital.

Plant material will be selected based on its ability to provide drama, color, and seasonal change to the experience. The following types of materials will be selected to expand the experience.

Palm Trees: The height and dramatic character of these trees will connect with existing campus specimens, provide a sense of verticality against main entrances, help identify focal points and location of the lobbies.

Street Trees: Canopy trees have been chosen to define both vehicular and pedestrian spaces. The shape of their canopies will soften the architecture and lower the project scale to a more familiar pedestrian level. Trees will be selected from the City of Fullerton's Street Tree Master Plan and shall conform to the City's list of theme street trees, as appropriate.

Flowering Accent Trees: These accent trees will provide important color and life to the streetscene, parking areas, and public areas/plazas. Being lower in height, they will help to visually screen the parking areas.

Shrubs and Groundcovers: The materials will provide a layered pattern and structure throughout the project site. Varying heights will help screen parking areas, soften building foundations, enhance major views and direct pedestrian traffic, etc.

Existing healthy trees, to the greatest extent feasible, shall be preserved and maintained on site. Where preservation is not possible, existing healthy trees may be relocated. If healthy trees are removed, they shall be replaced by similar size and specimen, as feasible.

Landscape design will create a unified landscape theme for the campus, adding strategically placed groupings of deciduous and evergreen shade trees, flowering shrubbery, and accent groundcovers. Trees will comply with the size requirements of the Plant Palette (see Exhibit 4.6a).

Landscape Phasing: All landscape improvements shall be phased according to the Landscape Concept Plans depicted in the Specific Plan. Landscape Concept Plan for Phase 2 is depicted in Exhibit 4.3. SJMC reserves the

right to alter and adjust the landscape phasing program as it deems judicious.

4.3.2 Entry Landscape Treatment & Monumentation

New integrated monument signage is proposed along N. Harbor Boulevard at the Bastanchury Road and Valencia Mesa Drive intersections. In addition to the new monumentation, landscape improvements will be introduced to further reinforce the importance of these primary campus entry points.

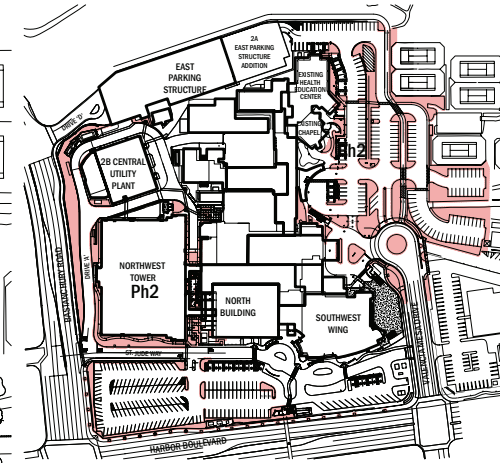
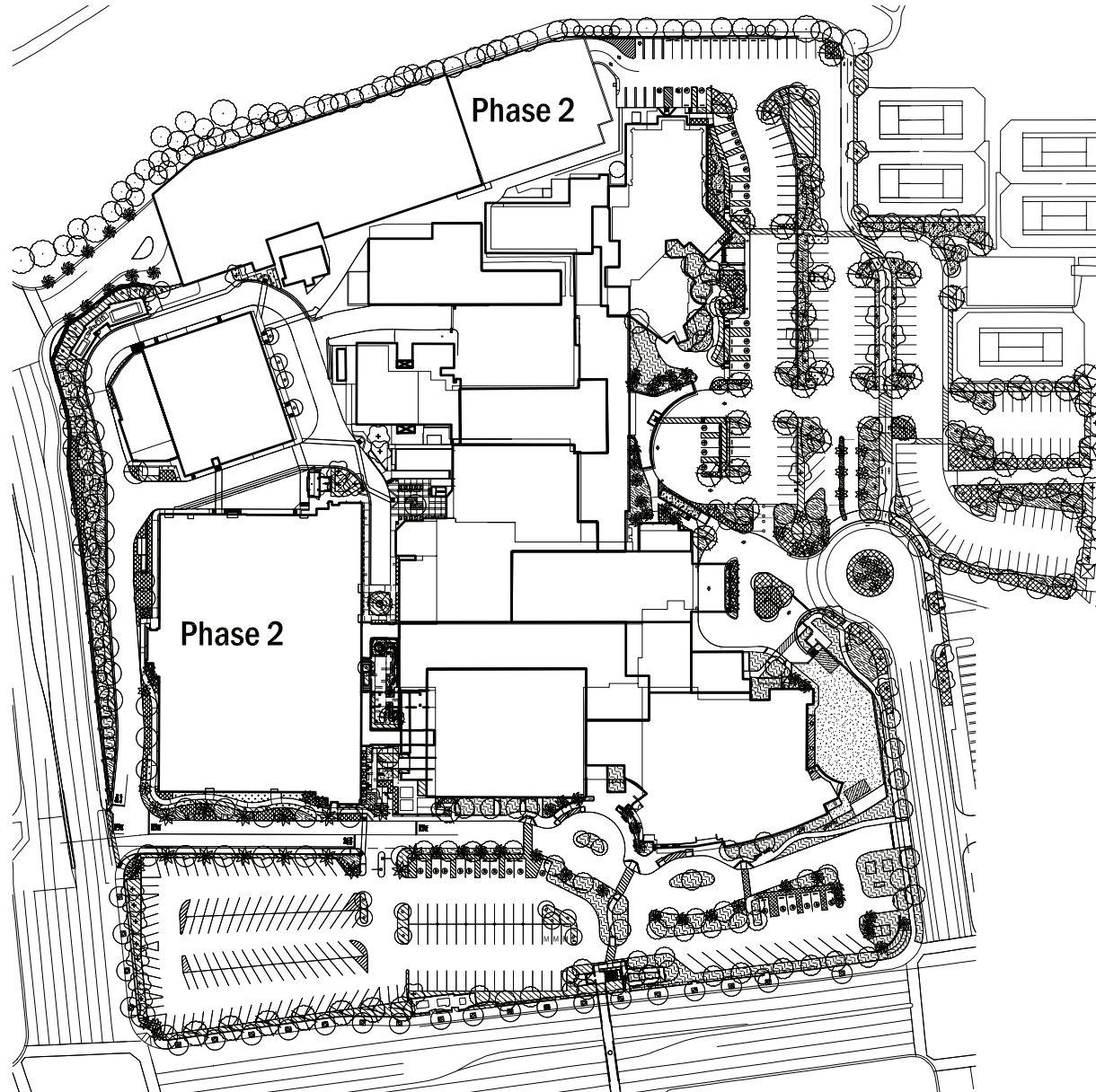
A. Entry at Valencia Mesa Drive / North Harbor Boulevard

The concept for the major entry intersection at Valencia Mesa Drive is to introduce taller edge trees and palm clusters that frame and draw attention to the new sign monuments. Flowering trees and low accent shrub groupings will also reinforce edges and foreground features providing a stronger, more dignified entry image for the entire campus.

B. Entry at North Harbor Boulevard/Bastanchury Road

To promote a stronger campus identity and to unify entry features from this important intersection, the Plan proposes similar landscape treatments as the Valencia Mesa Drive/N. Harbor Boulevard intersection. The Plan includes a cluster of palms and flowering edge trees that frame the sign monument and draw further visual attention to the corner. Low perennial accents are included to enhance

St. Jude Medical Center Replacement Plan



Key Map

N.T.S.

PLANT MATERIAL LIST

	Conifers		Small Flowering Shrubs
	Deciduous Trees		Medium/Large Flowering Shrubs
	Evergreen Canopy Trees		Evergreen Groundcovers
	Flowering Trees		Perennial Accents
	Palm Trees		Lawn Areas & Grasses
	Evergreen Shrubs		Vines

EXISTING PLANT MATERIALS

	Existing Trees		Existing Shrubs
	Existing Palm Trees		Existing Lawn Areas

Scale 1:150

Exhibit 4.3, Phase 2 Landscape Concept Plan

Note: A minimum of 15% open space is provided.

foreground views that complement orientation and campus arrival character.

4.3.3 Plaza / Courtyard Design

The project will contain a series of small public spaces scattered throughout the campus as described below.

A. Main Entry Plaza at St. Jude Way

New vehicular drop-off plazas will be provided along St. Jude Way at both the main hospital entry and the new Southwest Wing building. Natural landscape features, palm tree clusters and flowering accents combined with special plaza paving materials will strengthen entry character and reinforce a welcoming image for visitors and patients. Pedestrian links to and from N. Harbor Boulevard will be reinforced with canopy trees and garden edge plantings to enhance walkway circulation and promote a positive pedestrian campus atmosphere. Refer to Exhibit 4.4, Main Entry Plaza at St. Jude Way.

B. Garden Courtyards

A new linear courtyard garden, referred to herein as the “Reflection Court,” will be built in Phase 2 between the Northeast Tower and the existing hospital wing. This important outdoor addition to the campus open space plan will feature a pedestrian path, a variety of smaller-scaled gathering and seating areas, a shade garden and fragrance garden. A meandering dry stream feature in the center courtyard is

also included to suggest a more contemplative garden atmosphere. Plant materials will be selected from the Specific Plan plant palette and will emphasize seasonal color and fragrances. Enriched paving materials will add contrast, human scale and be similar to other important campus plaza and building entry features.

4.3.4 Streetscene Landscape Treatments

The following discussion details the landscape treatments for each of the primary streets on-site or in the vicinity of the project site as shown on Exhibits 4.5a-h.

A. North Harbor Boulevard

Existing street trees will remain in place until improvement plans require adjustments to the existing roadway edges. As roadway improvements are implemented, existing street trees along N. Harbor Boulevard will be replaced with regularly spaced deciduous shade trees. The street trees shall be selected in conformance with the City’s theme street tree for N. Harbor Boulevard. Root barriers for trees are required for any tree that is located closer than six (6) feet from adjacent hardscape paving.

To promote a unified image along North Harbor Boulevard, the Plan proposes a layered veil of flowering trees planted within the existing setback. Combined with foreground shrub enhancements, this treatment will unify the public streetscape appearance along Harbor Boulevard and filter views so that individual

buildings and campus orientation points can still be seen. Additional evergreen shrubs will be placed along the parking lot frontage to soften and screen exposed views of parked vehicles. Refer to Exhibit 4.5a, N. Harbor Boulevard.

B. Bastanchury Road

The majority of the campus frontage along Bastanchury Road will be improved with the construction of the new East Parking Structure and retaining wall flanking the south side of Bastanchury Road from St. Jude Way, east to the parking structure entrance drive. Landscape improvements associated with both the East Parking Structure and retaining wall will be implemented prior to Phase 1A of the Specific Plan. At the retaining wall, dense layered plantings of flowering shrubs and evergreen trees are proposed to soften the wall. Where there is sufficient space to accommodate planting of street trees along Bastanchury Road, the trees shall be selected in conformance with the City’s theme street tree for Bastanchury Road. Root barriers for trees are required for any tree that is closer than six (6) feet from adjacent hardscape paving. Refer to Exhibit 4.5b, Bastanchury Road.

C. Entry Roundabout at Valencia Mesa Drive

The roundabout will be provided with in Phase 2. To clarify traffic movement and orientation at this key roadway junction, flowering foreground shrubs surrounding a cluster of skyline palm trees will fill the landscaped island in the center of the roundabout and strengthen

St. Jude Medical Center Replacement Plan

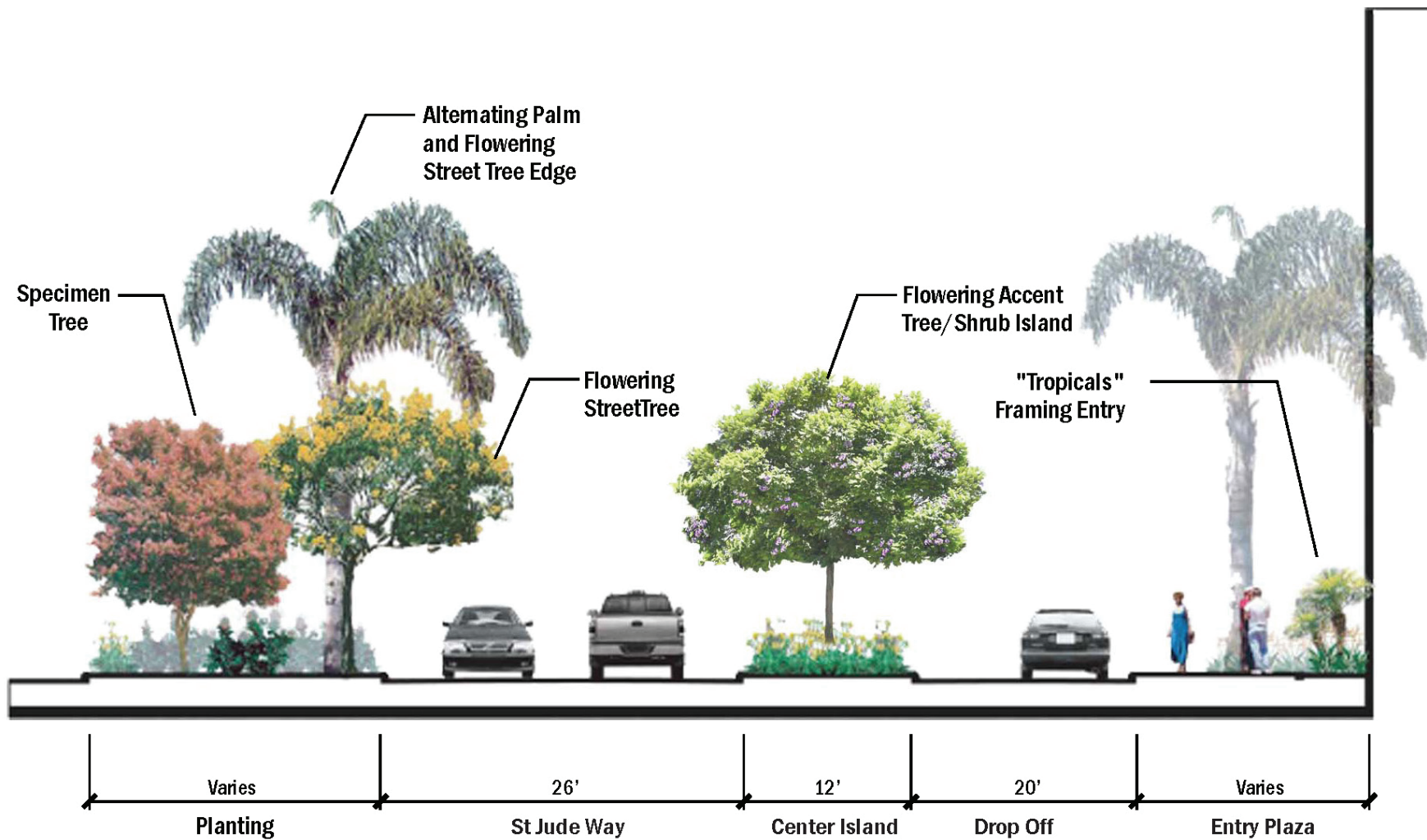


Exhibit 4.4, Main Entry Plaza at St. Jude Way

Rabben
Herman
design
office



AECOM

orientation from Valencia Mesa Drive and the new emergency entry area. Additional palms and lower flowering accents will be included to enhance edges and unify the roadway space while keeping site lines and access points clear and focused. Refer to Exhibit 4.5c, Entry Roundabout at Valencia Mesa Drive.

D. St. Jude Way

As part of Phase 1A, St. Jude Way will be realigned to establish a new identity for the primary internal campus roadway serving the new Southwest Wing and the main hospital arrival plaza. To reinforce roadway edges and clarify access, regular plantings of flowering canopy trees, alternating with skyline palms, will add scale and structure to the Plan, reinforcing roadway edges, circulation patterns and parking area access points. The new trees, combined with enhanced shrub groupings, special intersection paving materials and flowering understory accents, will also help clarify pedestrian circulation and arrival connections to important building entries. Refer to Exhibit 4.5d, St. Jude Way.

E. Fullerton Tennis Center Parking

Phase 2 will include reconstruction of a portion of the Fullerton Tennis Center parking lot. Several existing trees will be removed and replaced with new trees. In addition to installing new trees to replace those removed, the Plan includes additional flowering shrubs and

groundcover plantings to help unify roadway edges. Flowering vines and some additional trees will also be installed along the north edge of the roadway to diminish disturbance to the existing chapel entry court. Refer to Exhibit 4.5e, Fullerton Tennis Center.

F. Drive "A"

Slope planting including conifers, palms and evergreen trees placed along the roadway edges will be planted to soften the views from the public right-of-way. Slope areas will include a mixture of groundcovers for erosion control, under story shrubs to accent and soften views and reinforce clear pedestrian circulation and access to and from the parking structure and main hospital building. Refer to Exhibit 4.5f, Drive "A" at Northwest Tower.

G. Drive "F"

When Drive "F" is constructed from the north campus to Valencia Mesa Drive in Phase 3, landscape improvements will be required on both sides of the drive. Conifer trees and flowering shrubs will direct views away from Drive "F" and soften the scale and vertical massing of the adjacent buildings. Refer to Exhibit 4.5g, Drive "F" at Northeast Parking Structure.

H. Drive "D" at Bulk Oxygen Storage Area

Drive "D" provides access from Bastanchury Road to the East Parking Structure. Evergreen planting will be used to buffer and screen views

of the bulk oxygen storage area. Refer to Exhibit 4.5h, Drive "D" at Bulk Oxygen Storage Area.

4.3.5 Plant Materials Selection

Because the existing hospital campus is already developed and the amount of open space is limited, the landscape design for the project will place a heavy emphasis on the use of various tree species to build on a lush hospital campus experience. A plant palette, as set forth in Exhibit 4.6a, has been specially designed for the hospital campus to help ensure thematic and design consistency for the landscaping on-site. Materials have also been selected for their contribution to the development theme, their adaptability to local climate and general soils conditions, and with consideration to ongoing maintenance. For reference purposes, Exhibits 4.6b-g contain images of the species of trees, shrubs, and groundcovers to be used on-site.

The trees in the palette have been selected to help orient and direct visitors, soften the buildings and parking lots, and help regulate the microclimate of the various outdoor spaces and parking lots on-site.

Plant materials should be selected to help define outdoor spaces and "rooms," modify the microclimate and, through scale, texture and color, bring beauty to the St. Jude Medical Center grounds. In addition, plant species should be selected for their ability to withstand

St. Jude Medical Center Replacement Plan

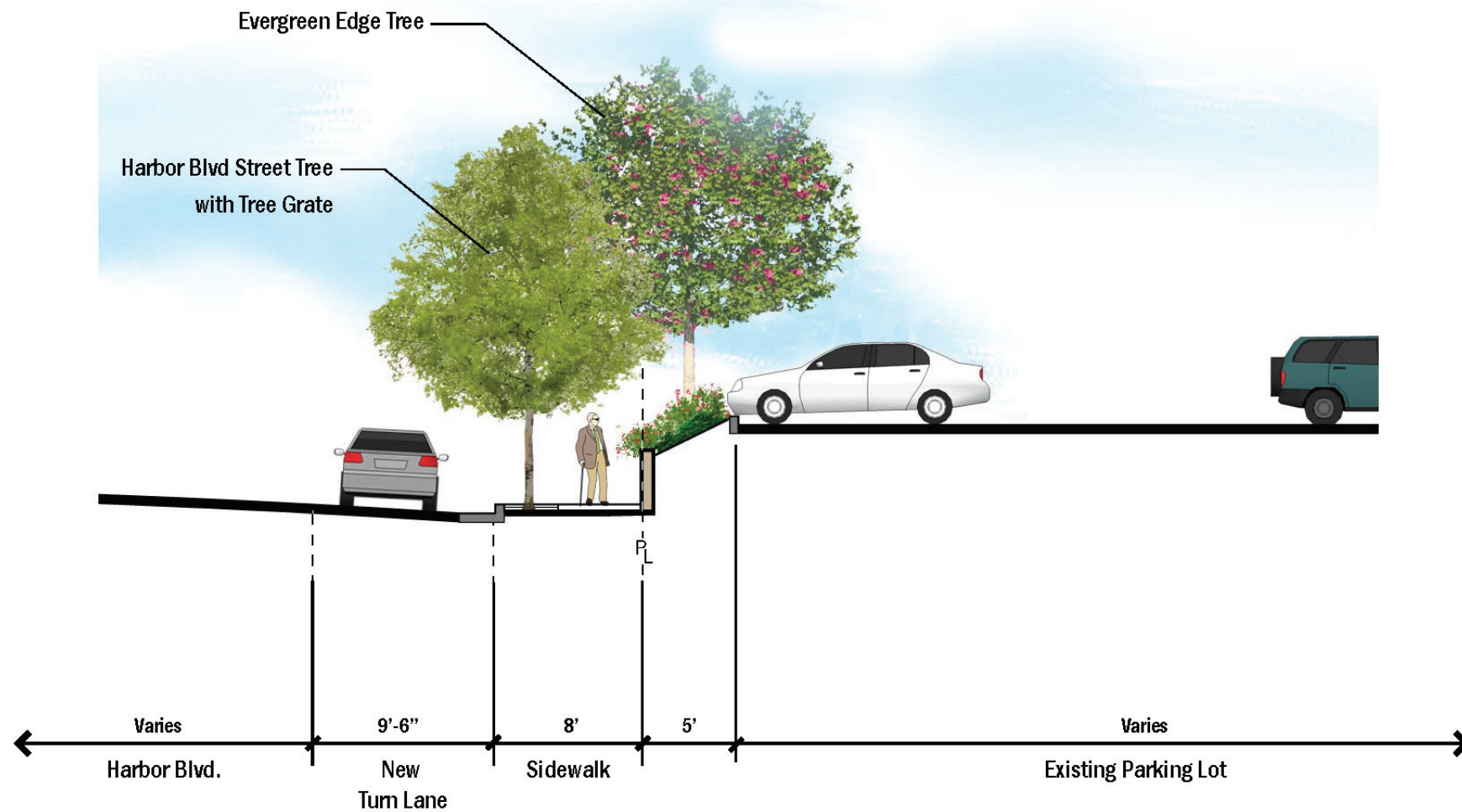


Exhibit 4.5a, Streetscape - N. Harbor Boulevard

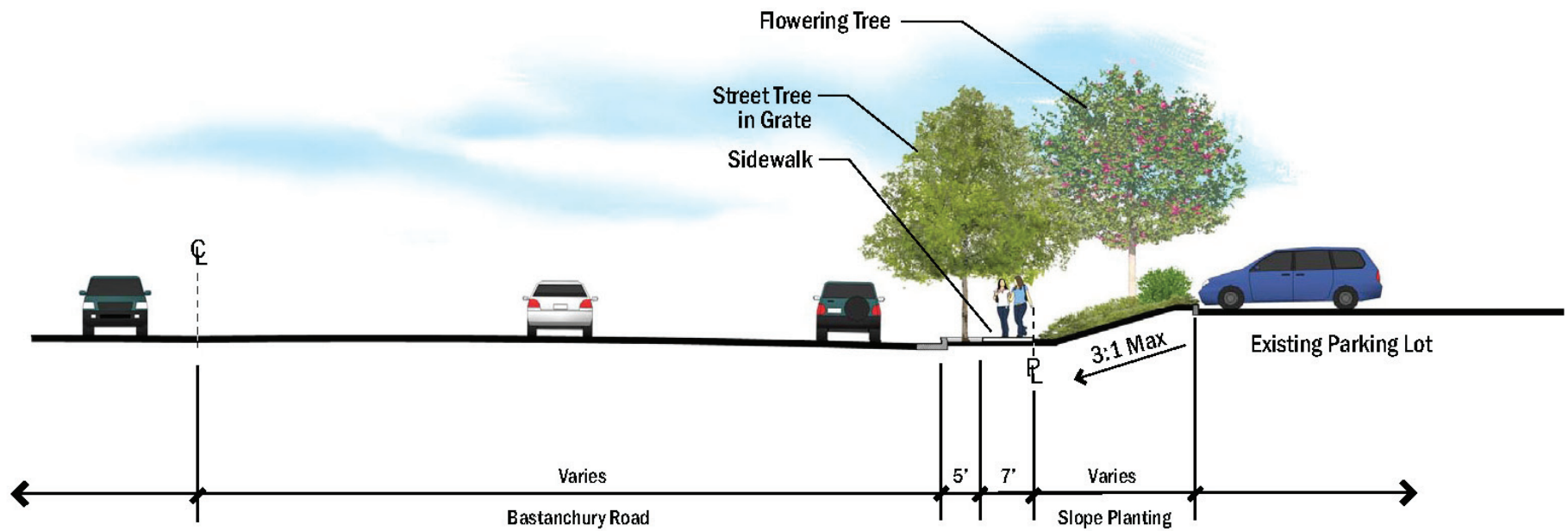


Exhibit 4.5b, Streetscape - Bastanchury Road

St. Jude Medical Center Replacement Plan

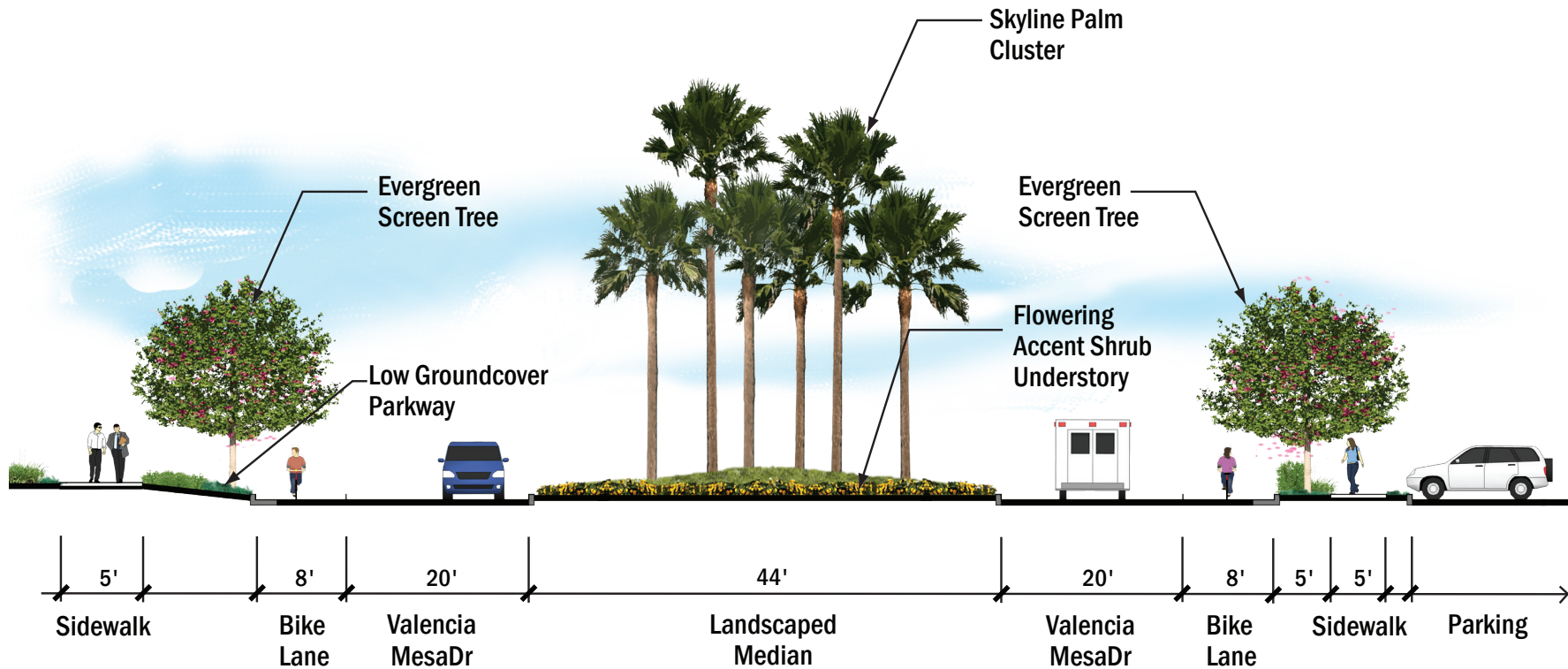


Exhibit 4.5c, Streetscape Conceptual - Entry Roundabout at Valencia Mesa Drive

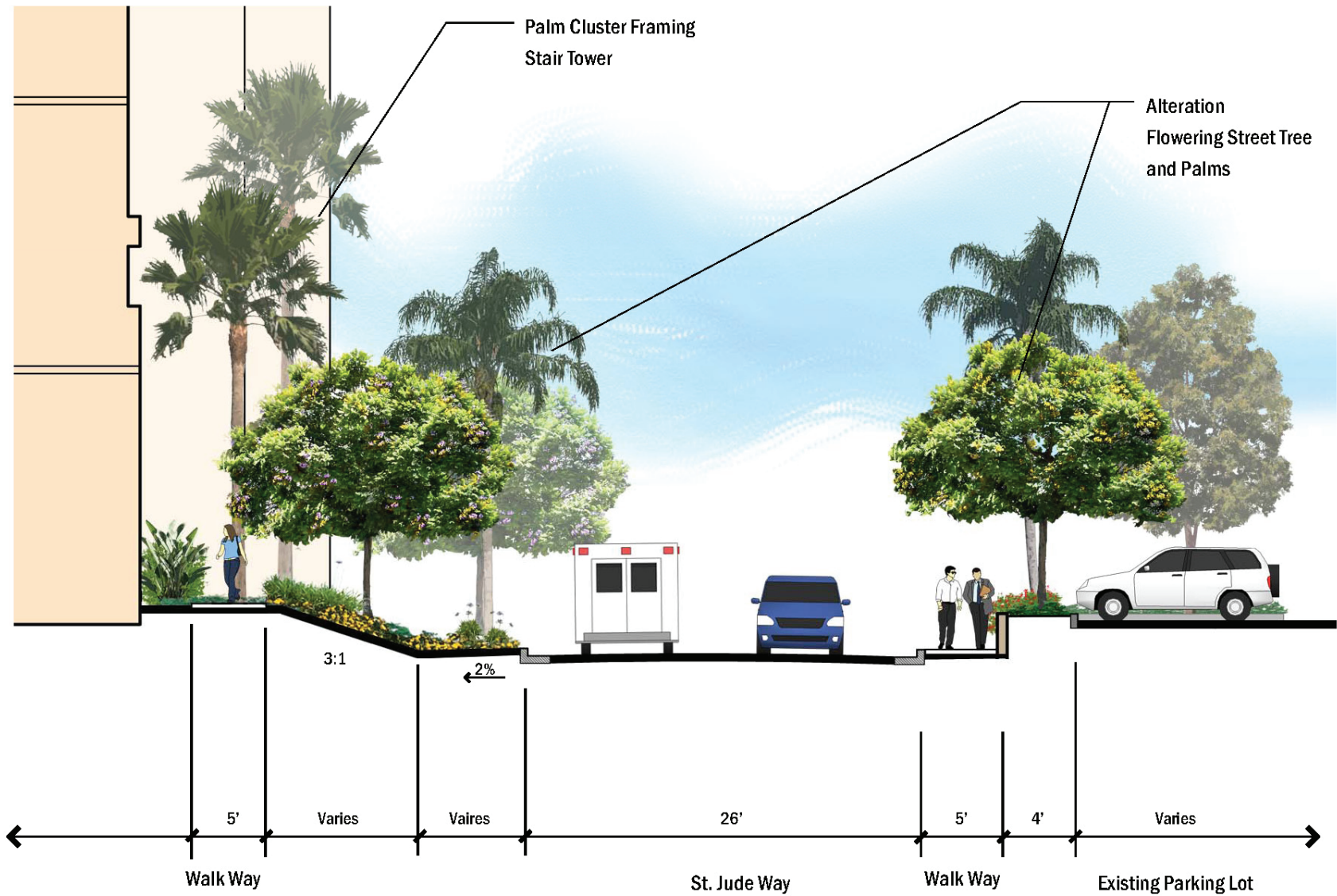


Exhibit 4.5d, Streetscape - St. Jude Way

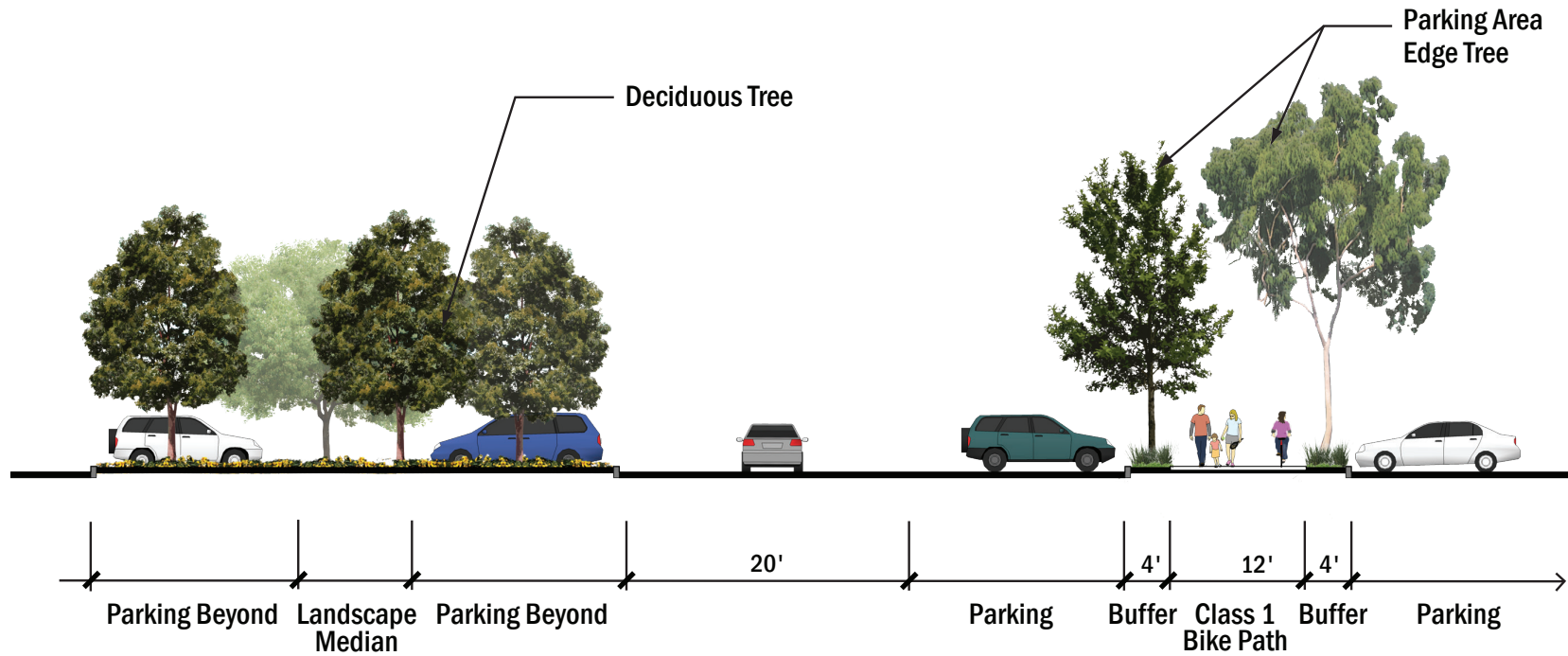


Exhibit 4.5e, Streetscape Conceptual - Fullerton Tennis Center Parking

Deciduous Trees



Bauhinia blakeana
Hong Kong Orchid Tree



Cercis canadensis
Redbud



Koelreuteria bipinnata
Chinese Flame Tree



Liquidambar styraciflua
Liquidambar



Platanus acerifolia
London Plane Tree



Plantanus racemosa
California Sycamore



Tipuana tipu
Tipuana



Agonis flexuosa
Peppermint Tree



Bambusa oldhamii
Oldhamii Timber Bamboo

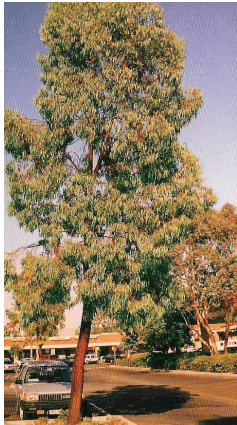


Callistemon viminalis
Weeping Bottlebrush

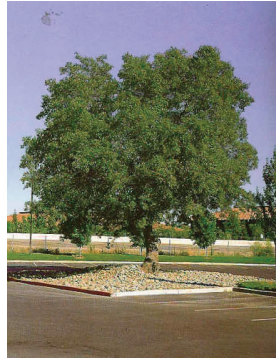
Evergreen Trees



Evergreen Trees



Eucalyptus sideroxylon
'Rosea'
Pink Ironbark



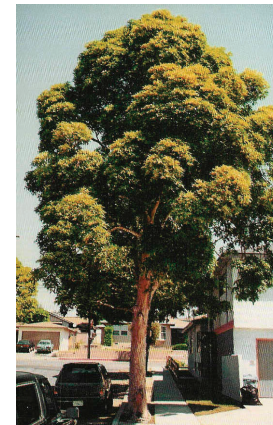
Quercus agrifolia
Coast Live Oak



Schinus molle
California Pepper



Schinus terebinthifolius
Brazilian Pepper



Tristania conferta
Brisbane Box

Conifers



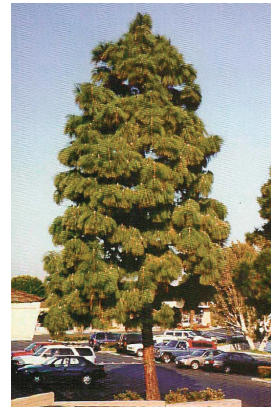
Umbellularia californica
California Bay Laurel



Calocedrus decurrens
Incense cedar



Cupressus sempervirens
Italian Cypress



Pinus canariensis
Canary Island Pine



Pinus elderrica
Afghan Pine

Flowering Trees



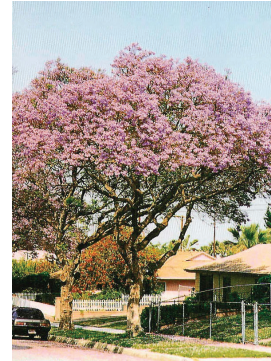
Bauhinia candida 'variegata'
White Orchid Tree



Cassia leptophylla
Gold Medallion Tree



Cassia splendida 'Golden'
Golden Wonder Senna



Jacaranda mimosifolia
Jacaranda



Lagerstroemia indica
Crape Myrtle



Magnolia grandiflora
Southern Magnolia



Tabebuia avellanedae
Lavender Trumpet Tree

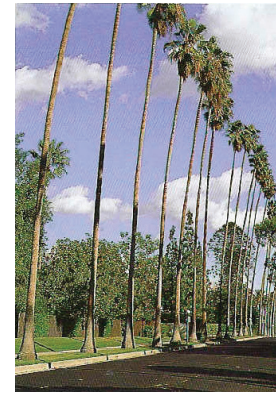
Palms



Arecastrum romanzoffianum
Queen Palm



Phoenix roebelenii
Pigmy Date Palm



Washingtonia robusta
Mexican Fan Palm

Shrubs



Abelia grandiflora
Glossy Abelia



Agapanthus orientalis
Purple Lily of the Nile



Anigozanthos 'Big Red'
Kangaroo Paw (Red)



Bougainvillea 'Oh LaLa'
Groundcover Bougainvillea



Bougainvillea 'San Diego Red'
Bougainvillea



Camelia sasanqua cultivars
Sasanqua camelia



Canna species
Raspberry Canna Lilly



Cupea hyssopifolia
False Heather



Dietes bicolor
Fortnight Lily



Escallonia fradesii
Pink Escallonia



Fremontodendron 'California Glory'
NCN



Feijoa sellowiana
Pineapple Guava

Shrubs



Hemerocallis species
Daylilies



Lavatera maritima
Tree Mallow



Leptospermum 'Nanum Tui'
Pink Fringe Flower



Ligustrum 'Texanum'
Glossy Privet



Loropetalum chinense
'Sizzling Pink'
Pink Fringe Flower



Phormium tenax
New Zealand Flax



Raphiolepis 'Clara'
Clara India Hawthorne



Raphiolepis indica 'Springtime'
Indica Hawthorne



Rhus ovata
Sugar Bush



Romneya coulteri
Matilua Poppy



Rosemarinus officinalis
Upright Rosemary



Salvia leucantha
Mexican Sage



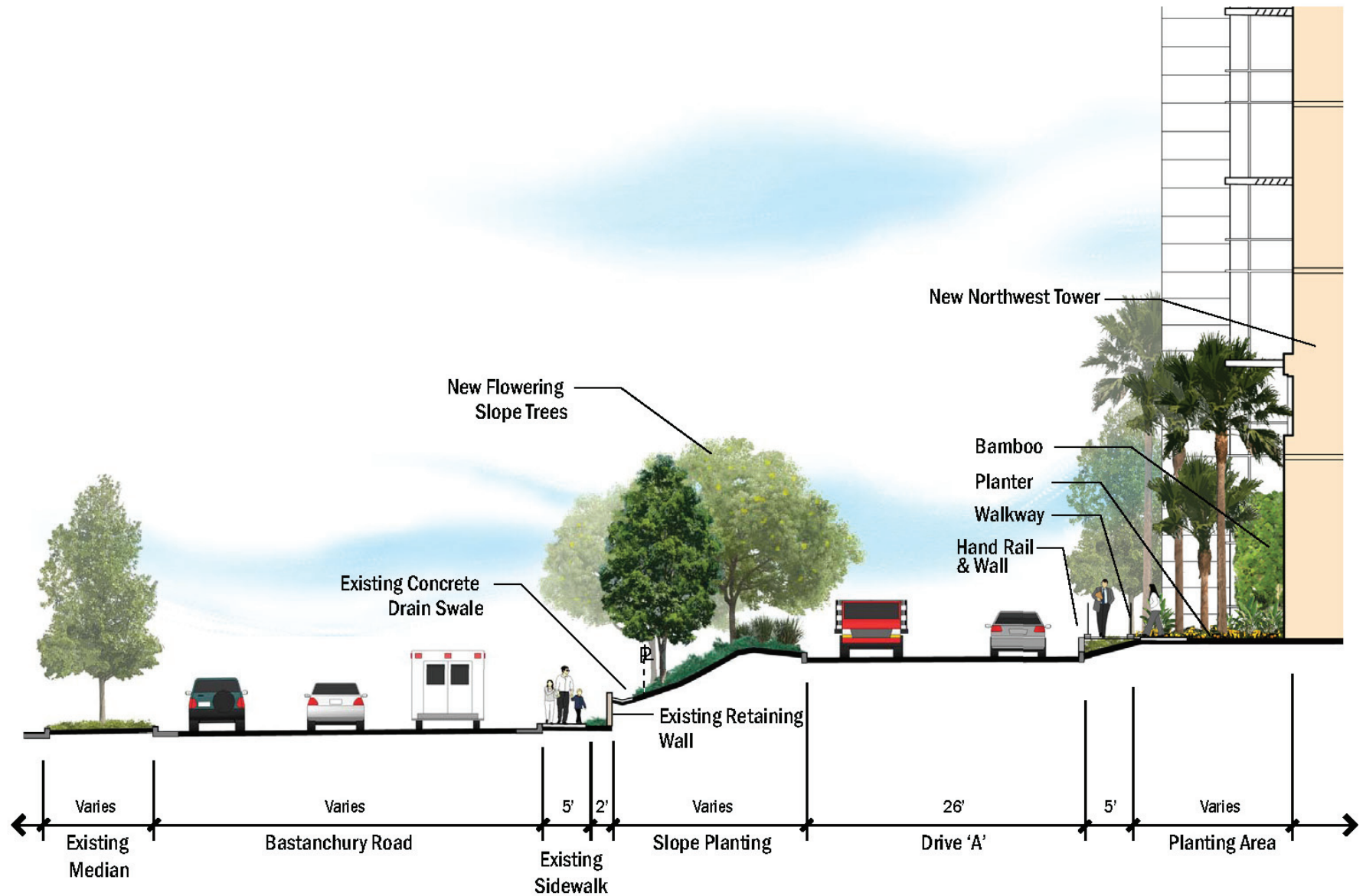


Exhibit 4.5f, Streetscape - Drive "A" at Northwest Tower

St. Jude Medical Center Replacement Plan

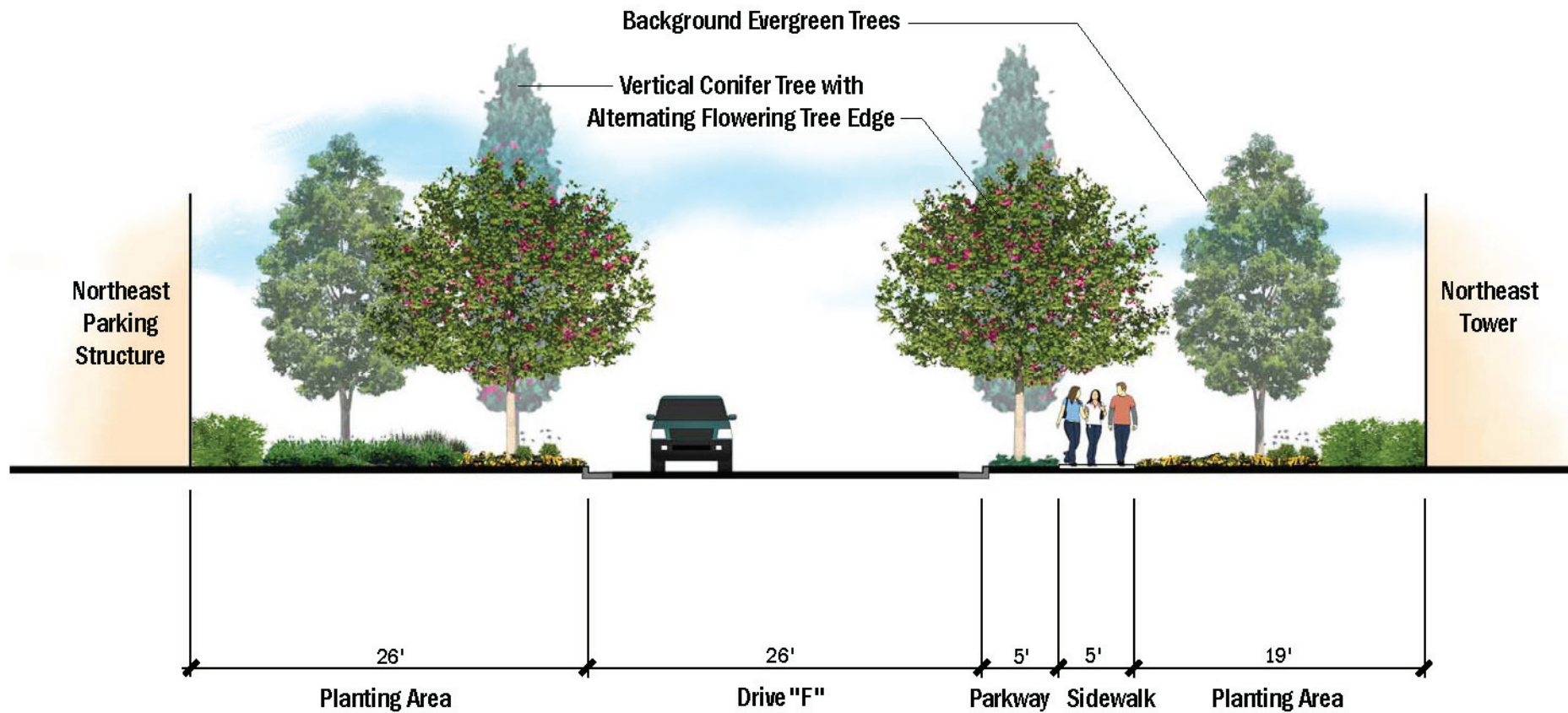


Exhibit 4.5g, Streetscape - Drive "F" at Northeast Parking Structure

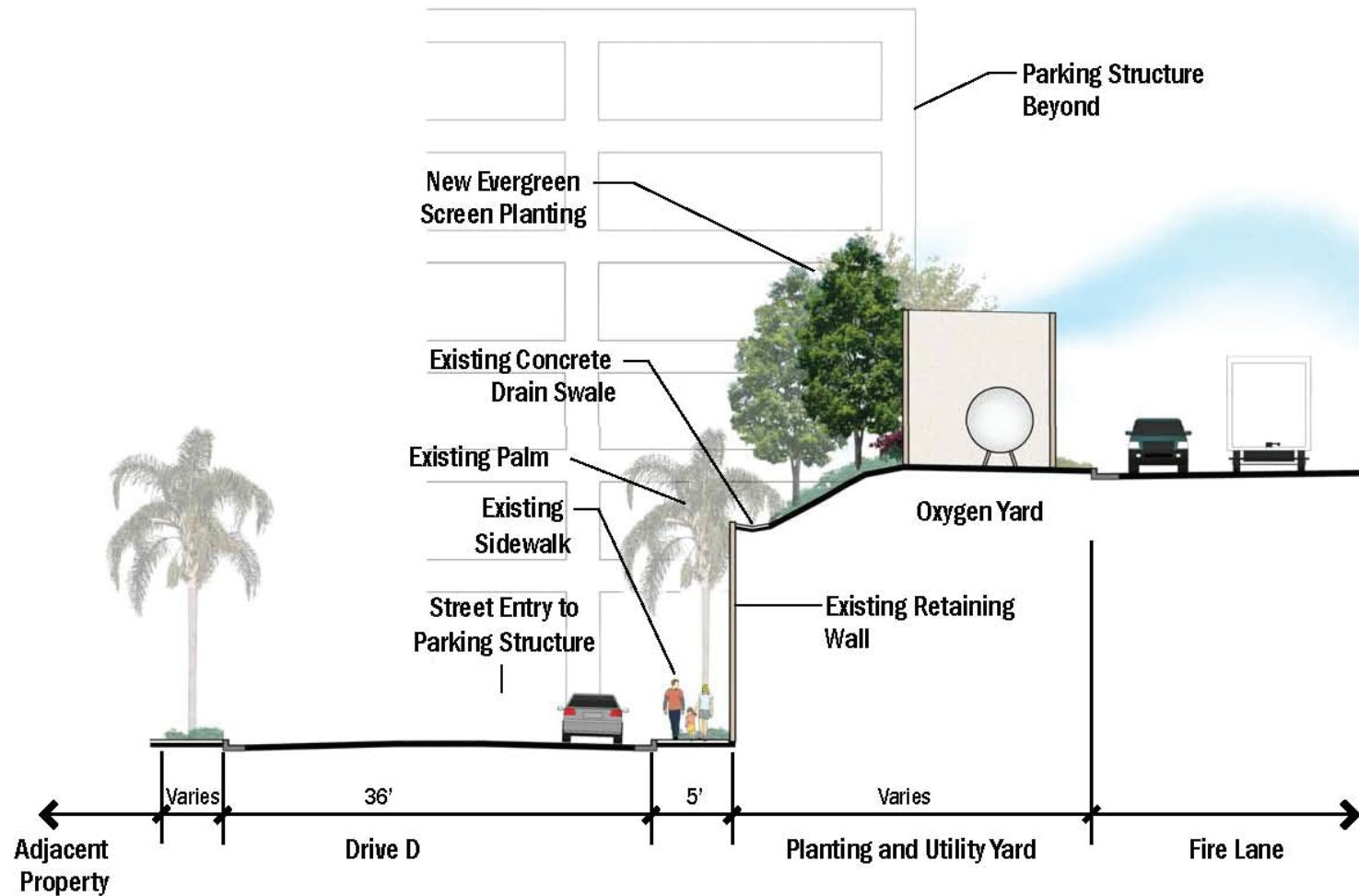


Exhibit 4.5h, Streetscape - Drive "D" at Bulk Oxygen Storage Area

urban conditions including excessive heat, winds (especially during Santa Ana conditions), interaction with humans and pollution.

Plants should require only minimal maintenance. Annual flowers should be limited to areas near entry monumentation or near building entrances where the flowers can have the greatest visual impact.

Drip irrigation or low-volume sprinklers shall be used for all trees and large shrubs in order to control and conserve water. If available, the owner may utilize reclaimed water for landscape irrigation.

Groundcover plantings, with the exception of turf areas, should be drought resistant and require minimal maintenance. Turf areas (existing) will be concentrated around the periphery of the project (along Bastanchury Road, North Harbor Boulevard, Valencia Mesa Drive), near the front entrance, adjacent to the Fullerton Tennis Center, and around the convent gardens. Drought tolerant ground cover shall be used in new landscape areas. Turf shall be limited to active use areas.

4.3.6 Project Edges & Buffer Landscape Treatments

- Parking areas should be screened from view to the extent feasible through the use of plant material or low walls that are compatible with the building architecture.

- Landscape treatments should be used within parking areas to visually minimize the impact of parking areas, as well as to provide shade cover for automobiles.

4.3.7 Lighting

- Exterior lighting shall be located and designed to minimize direct glare beyond the parking lot or service area. All light standards should be consistent with respect to design, materials, color and color of light, and with the overall architectural style of the product.
- Illumination of buildings and landscaping can be indirect, to create a strong positive image. Concealing light fixtures within buildings and landscaping can highlight attractive features. Use of lighting is especially recommended at entries, plazas, parking lots, pedestrian walks, and other areas where nighttime pedestrian activity is expected.

4.3.8 Handicapped Accessibility / Safety

All development within the Specific Plan District shall comply with the Handicapped Accessibility Standards as set forth in Title 24 of the California Code of Regulations, and with the federal ADA Standards for Accessible Design (28 CFR Part 36). In addition, consideration shall be given to installing ramps instead of stairs in exterior

areas, and using textured paving materials on ramps and in plazas and courtyards.

4.4 Walls & Fencing Guidelines

- Walls and fences shall not exceed ten (10) feet in height, except as required by Section 4.2.5, as necessary to comply with building, fire, or other codes, or for retaining purposes, sound attenuation or public safety.
- Required walls must be designed consistent with the Design Guidelines specified in this Specific Plan.

4.5 Signage Guidelines

A detailed signage program will be prepared for the St. Jude Medical Center Replacement Plan buildings. Preliminary signage designs and their potential locations have been incorporated herein as conceptual ideas of how such a program could be implemented as shown in Exhibits 4.7 and 4.8a-f. In addition, signage/wayfinding guidelines have been provided herein to provide guidance in the formulation of a consistent signage program on-site.

A. Design

- All sign structures shall be designed using working stresses and loading as specified in the latest edition of the Uniform Building Code, except that design wind loading shall be not less than 20 pounds per square foot.

BOTANICAL NAME**COMMON NAME****CONIFERS:**

Calocedrus decurrens	Incense Cedar
Cupressus sempervirens	Italian Cypress
Pinus Pinea	Italian Stone Pine
Sequoia sempervirens	Coast Redwood

DECIDUOUS TREES:

Acer palmatum 'Wolff'	Wolff Japanese Maple
Bauhinia blakeana	Hong Kong Orchid Tree
Cercis canadensis	Redbud
Koelreuteria bipinnata	Chinese Flame Tree
Liquidambar styraciflua	Sweet Gum
Platanus acerifolia	London Plane Tree
Platanus racemosa	California Sycamore
Tipuana tipu	Tipuana

EVERGREEN CANOPY TREES:

Agonis flexuosa	Peppermint Tree
Arbutus 'Marina'	Strawberry Tree
Cinnamomum camphora	Camphor Tree
Eucalyptus citrodora	Lemon Scented gum
Eucalyptus sideroxylon	'Rosea' Pink Ironbark
Quercus agrifolia	Coast Live Oak
Schinus molle	California Pepper
Tristania conferta	Brisbane Box

FLOWERING TREES:

Bauhinia candida 'variegata'	White Orchid Tree
Cassia leptophylla	Golden Medallion Tree
Jacaranda mimosifolia	Jacaranda
Lagerstroemia indica	Crape Myrtle
Magnolia grandiflora	Southern Magnolia
Tabebuia avellanedae	Lavender Trumpet Tree

PALM TREES:

Arecastrum romanzoffianum	Queen Palm
Phoenix dactylifera 'Zaheedi'	Date Palm
Washingtonia robusta	Mexican Fan palm

VERTICAL ACCENTS:

Bambusa oldhamii	Oldhamii Timber bamboo
Cupressus sempervirens	Italian Cypress
Eucalyptus citrodora	Lemon Scented gum
Juniperus species	Columnar Juniper
Umbellularia californica	California Laurel

EVERGREEN SHRUBS:

Bambusa oldhamii	Oldhamii Timber Bamboo
Bambusa 'Alphonse Karr'	Alphonse Karr Bamboo
Buxus japonica 'Green Beauty'	Japanese Boxwood
Borinda fungosa	Clumping Chocolate Bamboo
Dendrocalamus minor 'Amoenus'	Ghost Bamboo
Lavatera maritima	Tree Mallow
Ligustrum japonicum 'Texanum'	Texas Privet
Nandina domestica	Heavenly Bamboo
Phormium tenax	New Zealand Flax
Phormium 'Maori Maiden'	New Zealand Flax
Pittosporum 'Wheeler's Dwarf'	Dwarf Pittosporum
Pittosporum t. 'Variegata'	Variegated Pittosporum
Rhus ovata	Sugar Bush

SMALL FLOWERING SHRUBS:

Abelia grandiflora 'Sherwoodii'	Glossy Abelia
Anigozanthos 'Bush Dawn'	Kangaroo Paw (Yellow)
Anigozanthos 'Big Red'	Kangaroo Paw (Red)
Bougainvillea 'Rosenka'	Pink Groundcover Bougainvillea
Callistemon 'Little John'	Dwarf Bottlebrush
Camellia sasanqua cultivars	Sasanqua Camellia
Canna species	Raspberry Canna Lily
Cuphea hyssopifolia	False Heather
Dietes bicolor	Fortnight Lily
Gardenia jasminoides 'Veitchii'	Everblooming Gardenia
Lanvandra stoechas	Spanish Lavender
Raphiolepis 'Clara'	Clara India Hawthorne
Rosa 'Iceberg'	Iceberg Rose
Rosemarinus officinalis	Upright Rosemary

MEDIUM/LARGE FLOWERING SHRUBS:

Feijoa sellowiana	Pink Escallonia
Feijoa sellowiana	Pineapple Guava
Grevillea 'Noellii'	Grevillea
Leptospermum 'Nanum'	Dwarf New Zealand Tea Tree
Loropetalum c. 'Sizzling Pink'	Pink Fringe Flower
Rosa 'Pink Simplicity'	Pink Hedge Rose
Salvia leucantha	Mexican Sage
Strelitzia reginae	Bird of Paradise
Wistringia 'Wynabbie Gem'	Coast Rosemary

EVERGREEN GROUNDCOVERS

Carissa macrocarpa 'Tuttlei'	Tuttle Natal Plum
Ceanothus griesseus horizontalis	Carmel Creeper
Festuca glauca	Blue Fescue
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Myoporum parvifolium	Myoporum
Rosa apple blossom	Apple Blossom Groundcover Rose
Trachelospermum jasminoides	Star Jasmine

PERENNIAL ACCENTS

Agapanthus orientalis	Purple Lily of the Nile
Bougainvillea 'Oh La La'	Groundcover Bougainvillea
Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge
Hemerocallis 'Miss Victoria'	Evergreen Daylily
Hemerocallis 'Frankly Scarlet'	Evergreen Daylily
Imperata cylindrica 'Red Baron'	Red Baron Blood Grass
Lantana montevidensis	Purple Trailing Lantana
Lantana 'New Gold'	New Gold Lantana
Lomandra longifolia	Breeze Dwarf Mat Rush
Nassella tenuissima	Mexican Feather Grass
Rosmarinus officinalis 'Prostratus'	Prostrate Rosemary
Pelargonium species	Ivy Geranium
Pennisetum alopecuroides	Dwarf Fountain Grass

VINES

Calliandra haematocephala	Pink Powder Puff
Distictus buccinatoria	Royal Trumpet Vine
Distictus 'Rivers'	Red Trumpet Vine
Grewia occidentalis	Lavender Star Flower
Macfadyena unguis-cati	Cats Claw Vine
Senecio confusus	Mexican Flame Vine
Solanum jasminoides	Potato Vine

NOTE: All Trees Shown Assume Minimum 24" Box Size as Prescribed in the Specific Plan Landscape Guidelines.

Shrubs



Strelitzia nicolai
Giant Bird of Paradise



Strelitzia reginae
Bird of Paradise



Baccharis pilularis 'Twin Peaks'
Coyote Bush



Lantana montevidensis
Purple Trailing Lantana

Vines



Muhlenbergia rigens
Deer Grass



Calliandra haematocephala
Pink Powder Puff



Distictis 'Rivers'
Royal Trumpet Vine



Distictis buccinatoria
Red Trumpet Vine



Grewia occidentalis
Lavender Starflower



Solanum jasminoides
Potato Vine

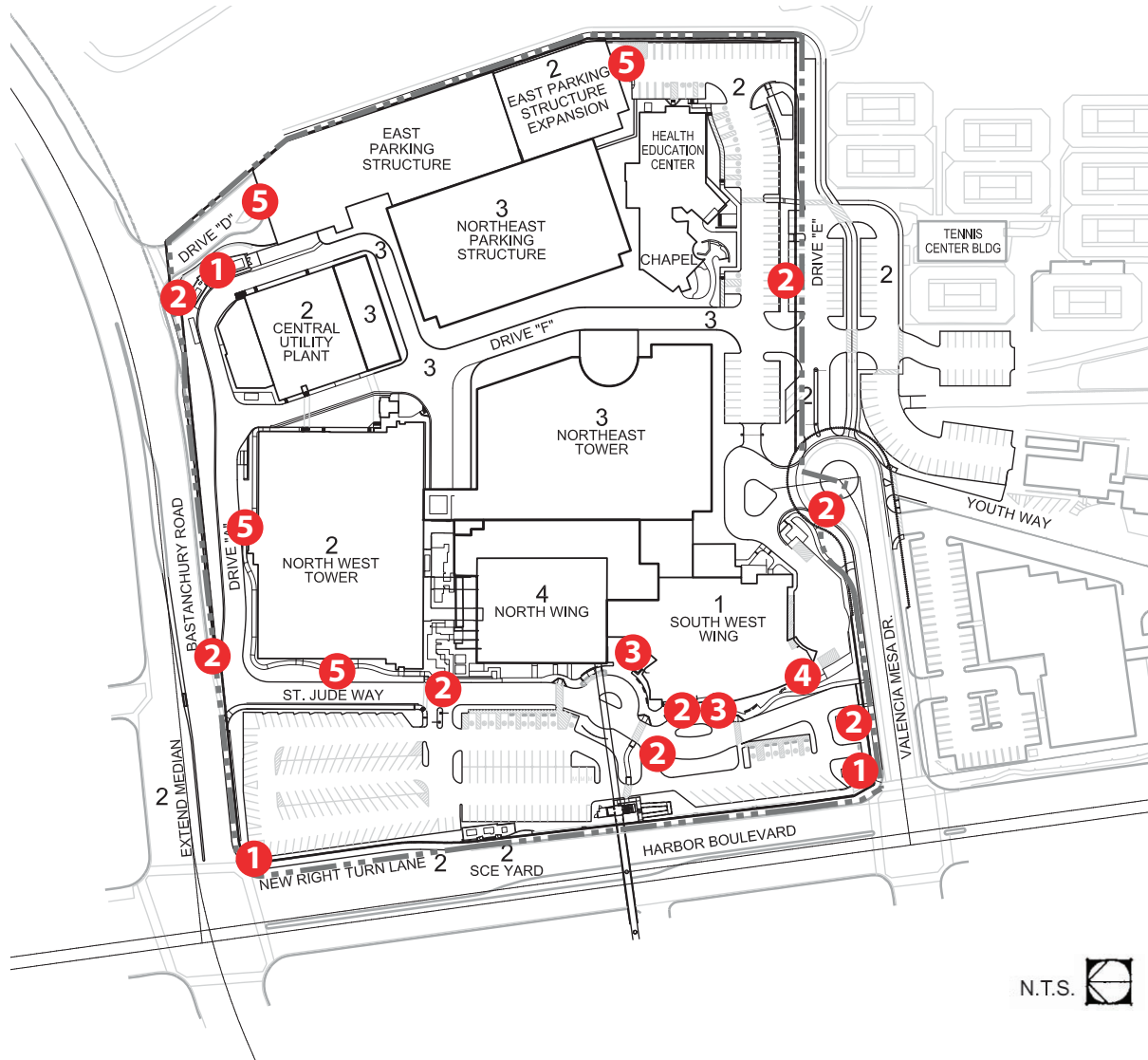


Lonicera japonica 'Halliana'
Hall's Honeysuckle



Pandorea jasminoides
Bower Vine

- A factor of safety of two against over-turning shall be used for a sign that is designed to be stabilized by the dead load of the sign or of its attachments.
 - Sufficient clearances shall be maintained between a sign structure and an adjacent building to accommodate maximum design deflections, unless the sign is attached to the building structure. No building shall be used for the support or anchorage of a sign, unless the building is designed and constructed to support the additional load.
 - The plans and specifications for a sign structure containing a surface area in excess of 50 square feet projected on a vertical plane shall be prepared and certified to contain all required safety features by an engineer or architect, and such a structure shall be installed by a contractor, all licensed within the State of California.
 - A sign having in connection therewith any electrical wiring shall be designed and inspected in conformance with the provisions of the Fullerton Electrical Code (Chapter 14.15). Each such sign shall have firmly affixed thereon a nameplate that shall state the manufacturer's name or trademark, the voltage, amperage and total wattage, and each such sign shall display the Underwriters' Laboratory label.
 - Wall signs and logos attached to the building shall be individual letters and surface mounted. No signs shall be painted directly on the building.
 - Wall signs shall be located on the building for optimum visibility from the nearby streets.
 - Wall signs shall only be located on the building face adjacent to a street, and shall be made of materials and colors that are compatible with or complementary to the building's architectural colors and materials.
 - Freestanding identification signs shall be limited to perimeter locations adjacent to existing streets and shall be of a monument design. These signs shall not exceed nine (9) feet in height, as measured from adjacent grade.
 - Freestanding signs for service identification may be installed within or adjacent to a private entry driveway. Entry signs must be located and sized so as not to impair vehicular visibility and/or movement.
 - Information/directional signs shall be used to provide directions to on-site vehicular traffic or pedestrians and not visible from off-site areas. Informational/directional signs may be double-faced.
 - structure shall be attached to or supported by any fire escape.
 - No portion of any sign or its supporting structure shall interfere with or obstruct any emergency exit or any legally required light and ventilation.
 - Information/directional signs shall be limited to the identification of function and/or services and when appropriate, shall contain a directional arrow and provide direction to functions and/or services or contain information such as Authorized Vehicles Only, Handicapped Parking Only, and Loading Zone.
 - Project identification signs may be installed at key intersections, or in landscaped areas within the street right-of-way or landscaped street medians. The size, shape, and colors and materials used in the project identification signs shall be determined during the Site Plan Review process for each phase. The Applicant shall submit a Signage Program to the City in conjunction with the Site Plan Review application for each phase for review and determination by the Director of Development Services.
- B. Obstruction by Signs**
- No portion of a sign or its supporting structure shall obstruct any fire escape, stairway or standpipe, exterior door or required exit, and no sign or its supporting



Legend

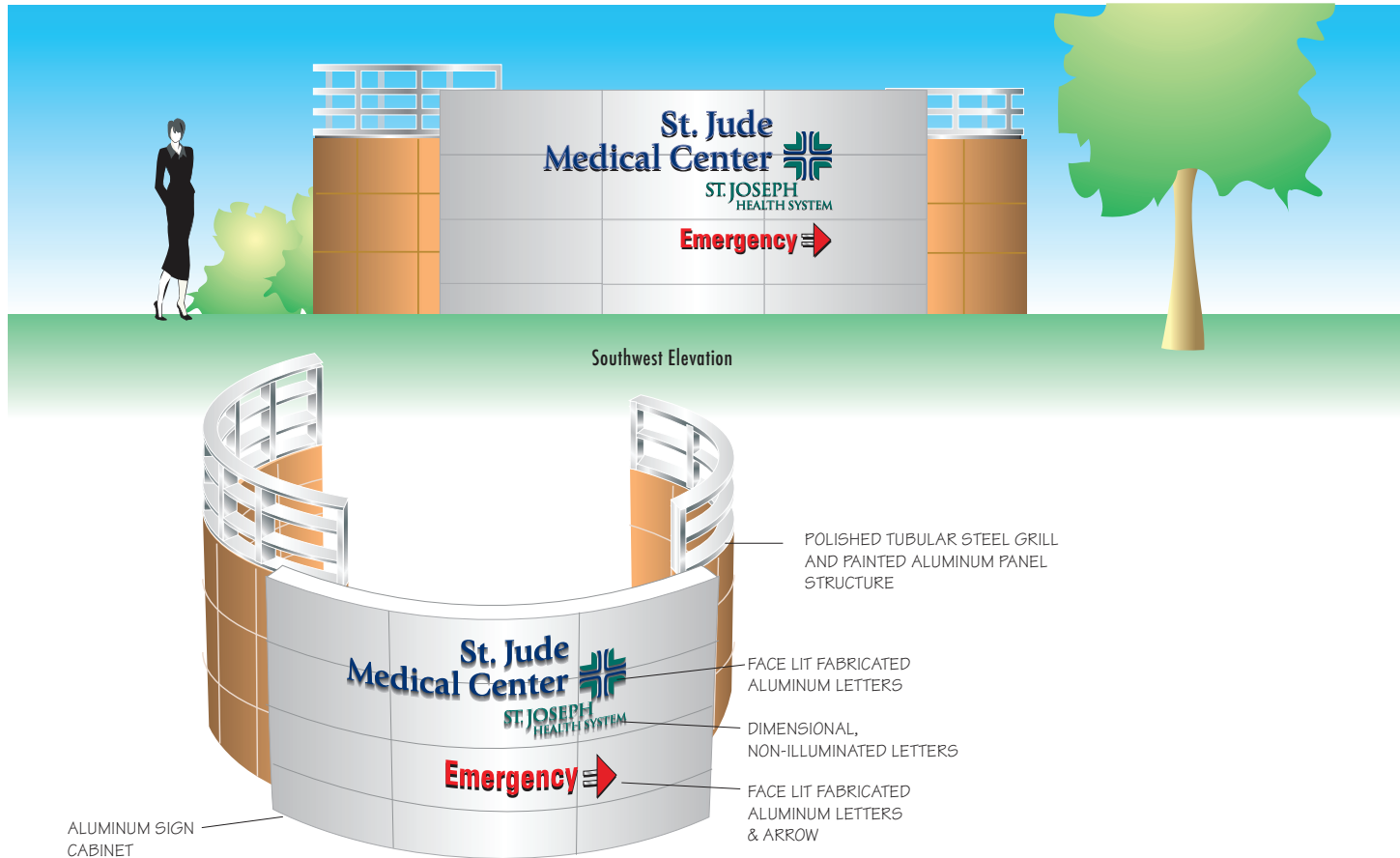
- 1** Corner Monument Sign
- 2** Freestanding Directional Sign
- 3** Main Building or Entrance Identification Sign
- 4** Secondary Hospital ID & Building Mounted Sign
- 5** Parking Structure Entrance Sign

N.T.S.

Note: This exhibit depicts typical signage locations on-site. There will be a need for additional signs not shown on this exhibit. Requests for additional signs shall be submitted to the City of Fullerton for Plan Check Review. The actual numbers, types, sizes, locations, and materials/colors of signs on-site shall be determined during Plan Check Review and may vary from that depicted on this exhibit. This exhibit is provided for illustrative purposes only.

Exhibit 4.7, Conceptual Signage Plan

St. Jude Medical Center Replacement Plan

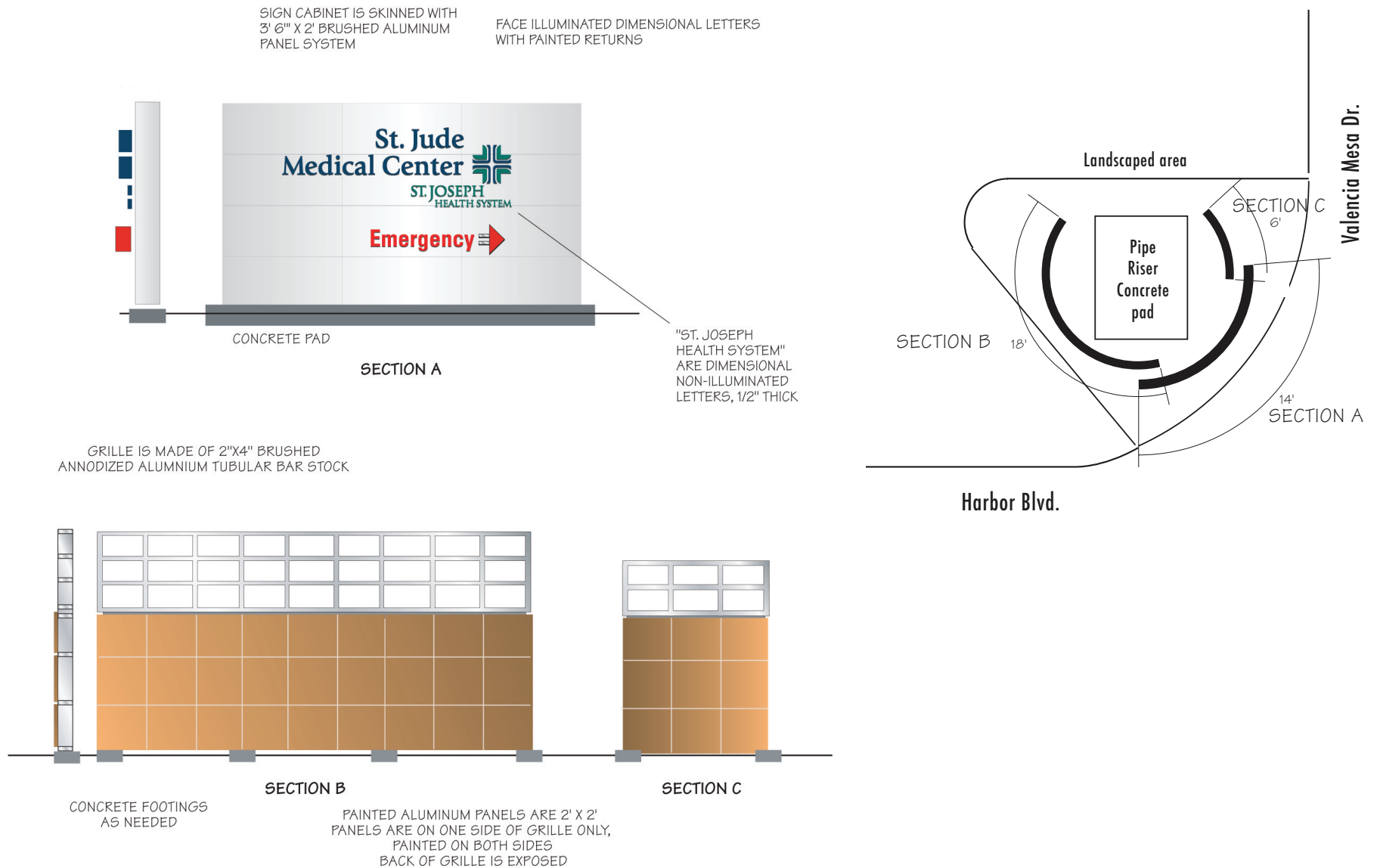


Note: Signage provided for illustrative purposes only. Actual materials, colors, sizes and shapes shall generally conform to those depicted in this exhibit. Modifications to design shall be allowed subject to approval by Director of Community Development.

Exhibit 4.8a, Corner Monument Sign

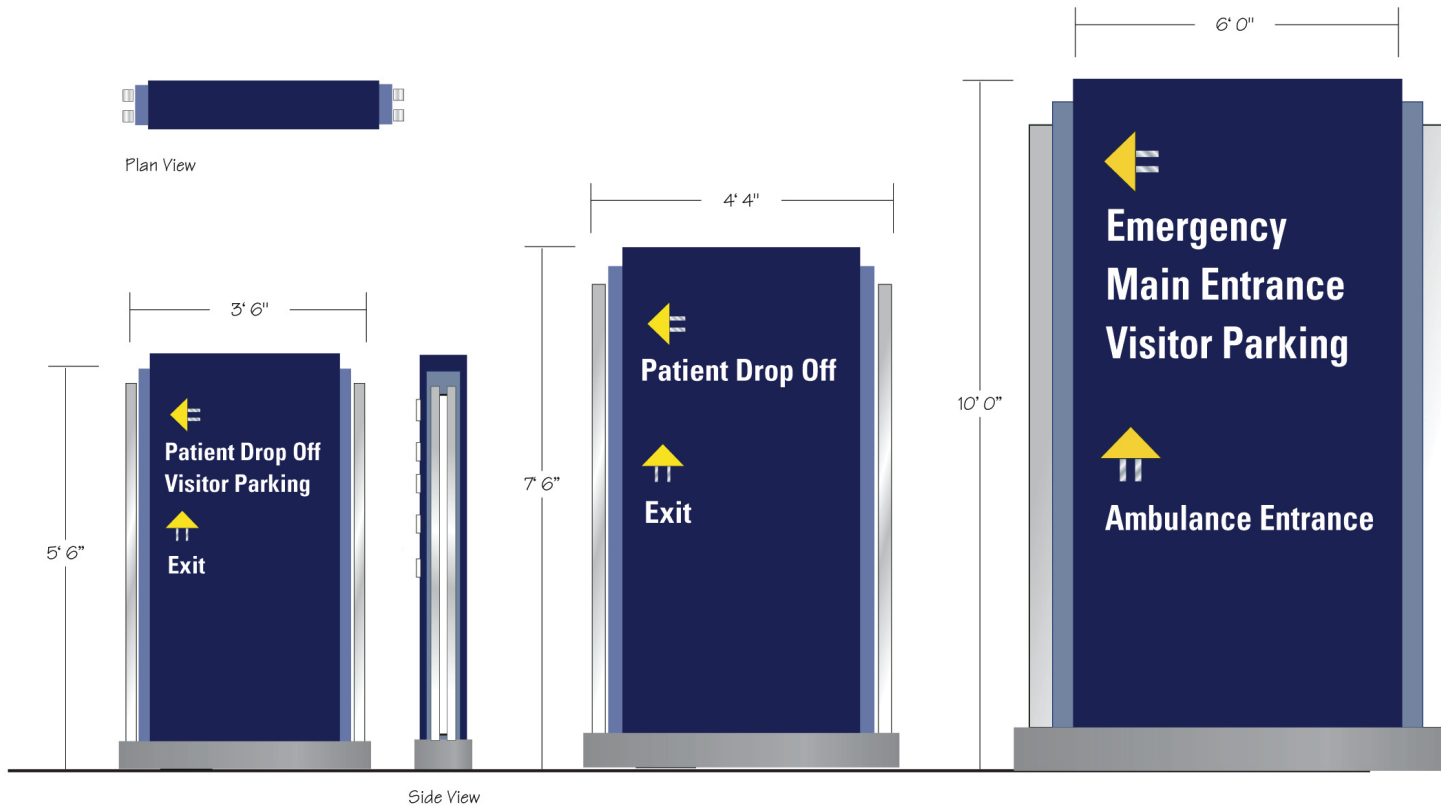
englund
DESIGNWORKS INC.

AECOM



Note: Signage provided for illustrative purposes only. Actual materials, colors, sizes and shapes shall generally conform to those depicted in this exhibit. Modifications to design shall be allowed subject to approval by Director of Community Development.

Exhibit 4.8b, Corner Monument Sign Sections and Plan View



Note: Signage provided for illustrative purposes only. Actual materials, colors, sizes and shapes shall generally conform to those depicted in this exhibit. Modifications to design shall be allowed subject to approval by Director of Community Development.

Exhibit 4.8c, Freestanding Directional Signs



Note: For illustrative purposes only. Actual materials, colors, sizes and shapes shall generally conform to those depicted in this exhibit. Modifications to design shall be allowed subject to approval by Director of Community Development.

Exhibit 4.8d, Main Building/Entrance Identification Sign

St. Jude Medical Center Replacement Plan

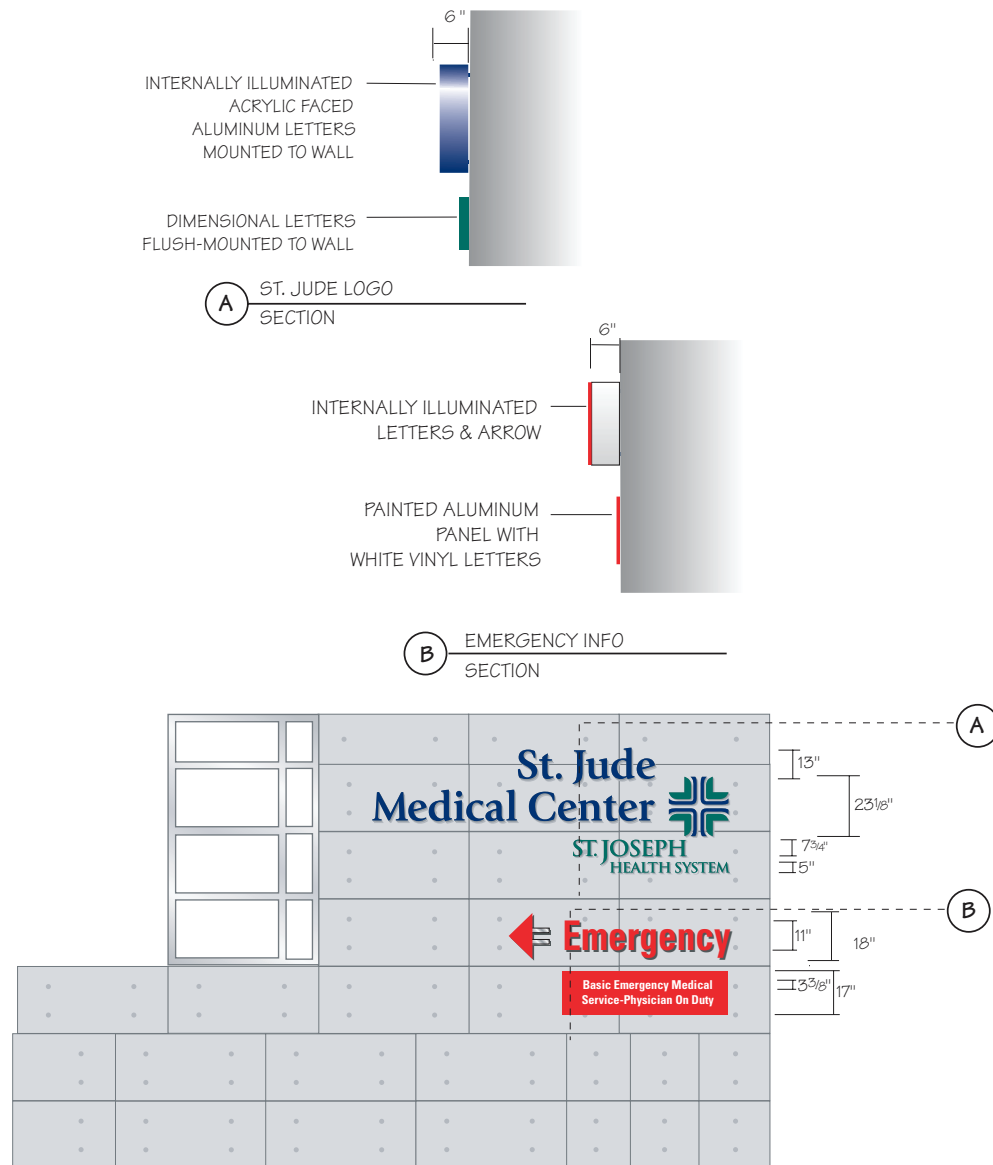


Note: For illustrative purposes only. Actual materials, colors, sizes and shapes shall generally conform to those depicted in this exhibit. Modifications to design shall be allowed subject to approval by Director of Community Development.

Exhibit 4.8e, Secondary Hospital ID & Building Mounted Sign

e n g l u n d
DESIGN WORKS INC.

AECOM



Note: Signage provided for illustrative purposes only. Actual materials, colors, sizes and shapes shall generally conform to those depicted in this exhibit. Modifications to design shall be allowed subject to approval by Director of Community Development Services.

Exhibit 4.8f, Secondary Hospital ID & Building Mounted Sign

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5 IMPLEMENTATION PROGRAM

5.1 Site Plan Review / Design Review

5.1.1 Intent and Purpose

A. The Site Plan Review standards and procedures in this Chapter supersede and replace the standards and procedures set forth in Chapter 15.47, Site Plan Review, in the Fullerton Municipal Code. Furthermore, this Chapter shall apply only to development in the St. Jude Medical Center Specific Plan District.

B. The regulations in this Chapter are intended to provide for development of all properties located in the St. Jude Medical Center Specific Plan District in accordance with the general purposes and development standards contained in this Specific Plan.

C. This Chapter is further intended to provide for the review of those developmental qualities that are not subject to precise statement in this Specific Plan, in order to assure that yards, open space, structures, parking, loading facilities, landscaping, streets, and land uses will embody the overall character and intent of this Specific Plan.

5.1.2 Definitions

For the purposes of this Specific Plan, a Site Plan is defined as a plan for any new use or construction, rehabilitation, or expansion of any existing building in the St. Jude Medical Center Specific Plan District. In addition, the terms “Site Plan Review” and “Design Review” shall be deemed to be synonymous and interchangeable for the purposes of this Specific Plan.

5.1.3 Site Plan Review Requirements and Procedures

A. This Specific Plan establishes two (2) types of Site Plan Review procedures - one procedure for Minor Site Plan Review, and another procedure for Major Site Plan Review. Submittal requirements for both Site Plan Review procedures are identical, only the reviewing bodies differ.

B. Site Plan Review shall be required for each phase of development (i.e., Phases 1A & 1B, Phase 2, Phase 3, and Phase 4) in accordance with Tables 5-1 and 5-2 in this Chapter. The required application materials and City processing fees shall be submitted to the City to initiate the Site Plan Review process.

C. All Site Plan requests shall include a plot plan and such elevations as necessary to portray the basic bulk of the new construction, and a landscaping concept plan to depict the basic landscaping theme of the development. Utility

and grading plans (if required by the City) shall also be provided as part of the application package.

D. The Director of Community Development shall prescribe the form in which an application shall be made for review of a Site Plan. The owner, his agent, an optionee, or lessee of the subject property may make an application, but in all cases the owner(s) of record of the subject property(s) shall sign the application. The application shall be filed with the Community Development Department, along with payment of the required City filing fee(s).

E. The procedure for the review of a Site Plan shall conform to one of two procedures as follows:

Minor Site Plan Review Procedure

- Any application for an addition to an existing building or for a new building that is compatible with the architectural style, colors, and materials as set forth in Chapter 4.0, Design Guidelines, in this Specific Plan, and that meet the relevant criteria established in Tables 5-1 and 5-2 in this Chapter, shall be permitted to follow the Minor Site Plan Review process.
- Minor Site Plans shall be reviewed by the City of Fullerton’s Director of Community Development. The Director shall, at his discretion, approve, conditionally approve,

or deny the application, or forward the application to the Zoning Administrator (ZA) for consideration. The decision of the Director of Community Development (or the ZA, if appropriate) shall be final unless within ten (10) working days of the Director’s (or ZA’s) decision an appeal is filed. All appeals shall be forwarded to the Planning Commission for determination. The Planning Commission’s decision shall be final and binding.

Major Site Plan Review Procedure

- Any application shall be required to undergo Major Site Plan review if it meets at least one of the following criteria:
 - The total square footage or total number of beds requires Major Site Plan Review as indicated in Table 5-1 in this Chapter.
 - Any proposed building or addition to an existing building that would exceed 11 stories or 190 feet in height, excluding basements;
 - The FAR of the proposed and existing buildings would be 1.710 or greater;
 - The site coverage of buildings, surface parking areas (exclusive of landscaping), and parking structures would exceed 85%;
 - The proposed buildings in Phases 2, 3, and 4 would vary substantially in architectural style, design, or colors or materials from the Phase 1 architecture;

- A Conditional Use Permit (CUP) is required;
- A heliport is proposed;
- The site plan would not substantially conform to the approved SJMC Replacement Plan as determined by the Director of Community Development. Substantial conformance, as determined by the Director of Community Development, shall mean that conformance which leaves a reasonable margin for minor modification provided that:
 - such modification is consistent with and does not materially alter the character of the approved site plan including the uses, layout and relationship to adjacent buildings, circulation system, issues of topography, drainage, underground utilities, structural safety, layout, and vehicular circulation design, etc.;
 - such modification is consistent with any proffered or imposed conditions that govern development of the site; and
 - such modification is in accordance with the requirements of the Specific Plan and Zoning Ordinance.
- Proposed parking would decrease by 15% or more, subject to a parking study.
- A Major Site Plan shall be set for review by the Planning Commission. A majority of the total Commission shall be a quorum

required for conducting business and a majority of said quorum shall be required for acting on motions.

- The decision of the Planning Commission shall be final unless within ten (10) working days of its decision an appeal is filed. In such case a public hearing shall again be set before the Planning Commission for its review and decision. If a final appeal is made by the applicant or his/her representative, then the Planning Commission shall forward the request and their recommendation(s) to the City Council for hearing and a final determination.

When is Site Plan Review Required?

Individual development projects within the St. Jude Specific Plan shall be implemented through the Site Plan Review process. Site Plan Review shall be required for all exterior building alterations and new development activities, with the exception of interior improvements, general maintenance and repair, landscaping improvements, or other minor construction activities that do not result in an intensification of the use. These exceptions may be subject to other Building and Engineering permits and approvals prior to commencement. Site Plan Review shall be required for development in each of the four development phases (i.e., Phases 1A & 1B, 2, 3, and 4).

When is Site Plan Review Not Required?

Site Plan Review is not required for any buildings or portions of buildings and associated facilities, including, but not limited to, accessory uses, and minor additions to existing hospital buildings. For the purposes of this section, a minor addition is defined as being 15 percent or less of the existing building square footage. Such an addition shall be subject only to plan check review prior to the issuance of any building permits. In addition, each building must be compatible with the general architectural style and character of the Southwest Wing to be constructed in Phase 1. It shall be up to the Director of Community Development to determine if a building is sufficiently compatible with the design of the Southwest Wing so that Site Plan Review is not required.

Site Plan Application Requirements

Application to the City for a Site Plan Review shall include a narrative of the proposed activity, along with preliminary development plans and drawings. The narrative shall consist of a project description identifying the intended services offered with square footage, and other information as appropriate. Supplemental to the application submission, project plans shall be prepared including site plan, floor plan(s) and architectural elevations; other plans may be required depending on the complexity of the project.

Table 5-1 Determination of Site Plan Review Process by Phase

Phase	Total Square Footages	Total Beds	Type of Review Required	Reviewing Person / Body(ies)
Baseline Condition	≤ 355,603	≤ 333	None Required	Not Applicable
Phase 1A	≤ 465,193	≤ 400	Minor Site Plan Review	Director of Community Development
	465,194 - 534,972 (up to 15% increase)	Not Applicable	Major Site Plan Review	Planning Commission
	≥ 534,973(more than 15% increase)	≥ 401	Specific Plan Amendment	Planning Commission & City Council
Phase 1B	≤ 468,893	≤ 384	Minor Site Plan Review	Director of Community Development
	468,894 - 539,227 (up to 15% increase)	Not Applicable	Major Site Plan Review	Planning Commission
	≥ 539,228 (more than 15% increase)	≥ 385	Specific Plan Amendment	City Council
Phase 2	≤ 684,893	≤ 358	Minor Site Plan Review	Director of Community Development
	684,894 - 787,628 (up to 15% increase)	Not Applicable	Major Site Plan Review	Planning Commission
	≥ 787,629 (more than 15% increase)	≥ 359	Specific Plan Amendment	Planning Commission & City Council
Phase 3	≤ 997,487	≤ 512	Minor Site Plan Review	Director of Community Development
	≥ 997,488	≥ 513	Specific Plan Amendment	Planning Commission & City Council
Phase 4	≤ 940,624	≤ 512	Minor Site Plan Review	Director of Community Development
	>940,624	≥ 513	Specific Plan Amendment	Planning Commission & City Council

Table 5-2 Determination of Site Plan Review Process by Development Threshold

	Development Threshold	Required Review Process	Reviewing Body(ies)
Maximum Building Height	11 stories or 190 feet (excluding basements), whichever is greater	Minor Site Plan Review	Director of Community Development
	12 stories or more than 190 feet (excluding basements), whichever is greater	Major Site Plan Review	Planning Commission
Maximum Site Coverage	85% or less site coverage	Minor Site Plan Review	Director of Community Development
	More than 85% site coverage	Specific Plan Amendment	Planning Commission & City Council
Floor Area Ratio	1.70 FAR or less	Minor Site Plan Review	SRC
	1.71 FAR or higher	Specific Plan Amendment	Planning Commission & City Council
Architecture	Stylistically similar (determination to be made by Director of Community Development)	Minor Site Plan Review	Director of Community Development
	Stylistically different (determination to be made by Director of Community Development)	Major Site Plan Review	Planning Commission
Building Materials and Colors	Similar or compatible with Phase I building materials and colors (determination to be made by Director of Community Development)	Minor Site Plan Review	Director of Community Development
	Significant variation from Phase I building materials and colors (determination to be made by Director of Community Development)	Major Site Plan Review	Planning Commission
Parking	Similar or consistent with each Phase's parking spaces (determination to be made by Director of Community Development)	Parking Management Plan, in conjunction with Site Plan Review	Director of Community Development
	Significant variation from each Phase's parking spaces (determination to be made by Director of Community Development)	Parking Management Plan, in conjunction with Site Plan Review	Planning Commission

Site Plan Review Criteria

The following criteria will be considered in the review of a Site Plan:

A. General

- Creating a development that is pleasant in character and is harmonious with the past development of Fullerton.
- Minimizing the disruption of existing natural features such as trees and other vegetation and natural ground forms.
- Illustrating a design that is compatible with the desired developing character of the surrounding area.
- Recognizing views, climate and the nature of outside activities in the design of exterior spaces.
- Preserving public views and scenic vistas from unreasonable encroachment.

B. Buffering

- Screening exterior trash and storage areas and service yards from view of nearby streets and adjacent structures in a manner that is compatible with building site design.
- Minimizing noise within the project as well as noise created by the proposed project (traffic, air conditioning, use, etc.) that may negatively impact the surrounding area.

C. Grading

- Blending any proposed grading with the contours of adjacent properties.
- Ensuring that all on-site drainage patterns will occur on or through areas designed to serve this function.

D. Circulation

- Creating traffic patterns that minimize impacts on surrounding properties and streets and accommodate emergency vehicles.
- Creating circulation systems that avoid conflicts between vehicular, bicycle and pedestrian traffic.
- Ensuring that the proposed project accommodates individuals with physical disabilities, via the provision of conveniently located handicapped parking stalls, ramps and the like.

E. Building/Site Planning Relationships

- Siting buildings so as to avoid crowding and to allow for a functional use of the space between buildings.
- Siting buildings so as to consider shadows, changing climatic conditions, noise impacts as well as respecting the terrain and other circumstances favorable to the use of passive solar devices.

- Designing and/or screening all rooftop mechanical and electrical equipment as an integral part of the building design.

F. Landscaping

- Designing landscaping to create a pleasing appearance from both within and off the site.
- Ensuring that landscaping accommodates adequate sight distances for motorists and pedestrians entering and exiting the site and does not interfere with circulation effectiveness.
- Providing landscaping adjacent to and within parking areas in order to screen vehicles from view and minimize the expansive appearance of parking areas.
- Ensuring that all landscaping and its corresponding irrigation systems will conform to Section 15.50 of the Fullerton Municipal Code.

Site Plan - General Standards

- The Director of Community Development, the ZA, and/or the Planning Commission may impose such conditions and standards, in addition to the conditions and standards required in the underlying Specific Plan District zoning, as will insure adequate ingress and egress without an undue number of driveways on major streets, public rights-of-way and improvements, and reasonable compatibility with the surrounding area.

- The Director of Community Development may approve minor modifications to an approved Site Plan, but major modifications shall require rehearing by the same process utilized to approve the original Site Plan.
- An approval of a Site Plan becomes null and void if not exercised within the time specified in said approval. Upon written request of the applicant, the authority that gave final approval to the original request may extend the time at which such approval expires. An appeal to the decision of such request may be filed pursuant to Chapter 15.76 of the Fullerton Municipal Code.
- No building permit shall be issued for any private improvements approved by a Site Plan until the public rights-of-way, public facilities, and public improvements thereby required have been provided, or the provisions thereof have been assured in the same manner as permitted by the Subdivision Map Act of the State of California. No building permit shall be issued for any such private improvements contrary to any conditions or standards required by a Site Plan or by this Specific Plan.
- No building permit shall be issued for any private improvement until the Director of Community Development determines that the plans for such improvement substantially comply with the requirements of this Specific Plan and the approved Site Plan.

Site Plan Review Hearings

- All hearings shall be noticed pursuant to Chapter 15.76 in the Fullerton Municipal Code, except that notice of the ZA hearing need be given only by the posting of a notice in front of the property and by mailing to contiguous, adjacent property owners of the subject property at least five days prior to the SRCZA meeting.

5.2 Specific Plan Amendment Procedures

Any proposed changes to this document that would substantially alter the Site Plan(s) contained in this document shall require an amendment to the St. Jude Specific Plan and shall be processed pursuant to provisions contained in Government Code Section 65453, and, in the same manner as a zoning code text amendment, pursuant to Section 15.66 of the Fullerton Municipal Code. The Planning Commission and City Council shall find, in approving or conditionally approving an amendment, that there is not a conflict with the purpose and intent of this Specific Plan or the City of Fullerton General Plan.

5.3 Enforcement of the Specific Plan

The enforcement of the provisions of this Specific Plan shall be by the following:

- A. The Fullerton Community Development Department shall enforce the site development standards and design guidelines set forth herein.
- B. The Planning Commission may review the appeal of any administrative interpretation of this Specific Plan. Likewise, any decision by the Planning Commission, except for Minor Site Plan review, is subject to appeal to the City Council.
- C. The City of Fullerton shall administer the provisions of St. Jude Specific Plan in accordance with the State of California Government Code, Subdivision Map Act, the Fullerton General Plan, and Fullerton Municipal Code.
- D. The Specific Plan development procedures, regulations, standards, and specifications shall supersede the relevant provisions of the City's Municipal Code, as they currently exist or may be amended in the future.
- E. All regulations, conditions, and programs contained herein shall be deemed separate, distinct, and independent provisions of this Specific Plan. In the event that any such provision is held invalid or unconstitutional, the validity of all the remaining provisions of this Specific Plan shall not be affected.
- F. Any development regulation and building requirement not addressed in the Specific Plan

shall be subject to all relevant City of Fullerton ordinances, codes, and regulations.

5.4 Infrastructure Financing

A. Telephone, electricity, gas lines, and cable television lines shall be installed and maintained by the appropriate utility company.

B. Roadway and parking lot improvements (the timing and responsibility for construction/funding of which shall be negotiated between SJMC and the City), which may include construction of a right-turn lane on Harbor Boulevard onto Bastanchury Road, improvements to Bastanchury Road, traffic signalization at Bastanchury Road and Drive “D”, street and parking lot restriping, parkway landscaping, land dedications, street and parking lot lighting, utility relocations, etc., shall occur in accordance with the adopted St. Jude Medical Center Replacement Plan Development Agreement between SJMC and the City.

C. Water, sewer, and drainage improvements shall be financed on a fair share basis or financed through an assessment district, community benefits district, or other financing mechanism acceptable to both the City of Fullerton and SJMC.

D. SJMC shall be responsible for installation, maintenance, and upkeep of all slope plantings, common landscape areas, hardscape areas,

and irrigation systems within the Specific Plan District.

E. All bicycle trails and regional trails shall be the responsibility of the City of Fullerton or other public entity to design, fund, construct, and maintain.

F. SJMC shall be financially responsible for rehabilitating the entire Fullerton Tennis Center parking area and associated access drives to City of Fullerton Standards.

G. Infrastructure improvements, which may or may not be specifically identified in this Specific Plan, shall be implemented consistent with City requirements and the adopted St. Jude Medical Center Replacement Plan Development Agreement between SJMC and the City of Fullerton.



APPENDIX A PROJECT CONFORMANCE WITH FULLERTON GENERAL PLAN

This analysis has been prepared to ensure that the St. Jude Medical Center Replacement Plan Specific Plan (hereafter, the “St. Jude Specific Plan” or the “Specific Plan”) is consistent with the goals and policies of the City of Fullerton’s General Plan, as required by California Government Code Section 65454. A general discussion of how the Specific Plan conforms to the pertinent goals and policies identified in the General Plan is provided herein. Only those goals and policies from the General Plan that apply to or have relevance to the St. Jude Medical Center Replacement Plan Project are discussed in this Appendix. The language from the General Plan is identified in **bold** print.

A.1 Land Use Element

▪ Goal LU-1: Overall Approach

Land use decisions which are based on careful consideration of public health and safety, community concerns, existing and future envisioned City character, sound economic and resource conservation planning and public input.

The project is proposing to conduct a comprehensive seismic retrofitting of SJMC, which will help to safeguard the public during seismic events. In addition, the project will expand the current hospital from 333 beds to 512 beds over a 26-year time horizon to accommodate the growing regional need for more hospital beds. Implementation of the project will provide a safer, state-of-the-art medical center that will provide critical health care services that will contribute to the public health, safety, and welfare.

This Specific Plan will ensure that SJMC, as the largest employer in Fullerton, SJMC will continue to play an important role in the economy of Fullerton and surrounding areas. Also, the Specific Plan will provide ample opportunity for public review during the Mitigated Negative Declaration (MND) review period and at the Planning Commission and City Council hearings.

Policy LU-1.1

Provide and implement clear, documented procedures which result in desired land use decisions, incentives, and regulations.

This Specific Plan includes development standards (see Chapter 3), design guidelines (see Chapter 4), and implementation procedures (see Chapter 5) that provide a clear direction for the future phased development of the St. Jude Medical Center Replacement Plan Project. A Site Plan Review process is outlined in Chapter 5, Implementation Program, of the Specific Plan, which future phases of development will be required to comply with in order to ensure that each phase is compatible with the vision for buildout contained here is maintained.

Policy LU-1.4

Minimize the impact of traffic congestion and unacceptable levels of noise, odor, dust and glare from new projects on all residential developments and other sensitive receptors, such as hospitals, schools, and rest homes.

A Mitigated Negative Declaration (MND) was prepared for the project that addresses environmental issues including potential traffic, air quality, noise, and construction impacts. The MND identifies mitigation measures that will reduce potential impacts associated with traffic, air quality, noise, and construction to below a

level of significance to all surrounding uses, not just to sensitive receptors.

Best management practices and the mitigation measures specified in the MND will be undertaken during construction and implementation of the project to ensure that the on-site hospital uses and services are not adversely impacted or interrupted, and that potential impacts to surrounding uses will be minimized. Since no sensitive receptors (e.g., residential or school uses) exist adjacent to the project site, implementation of the project will not adversely impact those receptors.

▪ Goal LU-2: Land Use

Compatible and balanced land uses which are well maintained or revitalized, provide pleasant environments, and adequately serve present and future populations.

The project is being undertaken in an effort to maintain the consistently high level of quality care being provided at SJMC, while revitalizing the outdated structures in the facility and enhancing the landscaping of the campus. This Specific Plan includes comprehensive architectural, landscaping, and signage/way-finding design guidelines that will ensure consistently high quality development through project build-out in 2030. The project will be implemented in phases to ensure that there is no interruption of service to present populations. Once rebuilt, the medical center will be a

state-of-the-art facility that will serve future populations for years to come.

Policy LU-2.1

Plan for a balanced development pattern that includes diversity in employment opportunities, goods and services, residential choices, and open spaces.

The phased expansion of SJMC will enable the facility to provide employment opportunities in the City of Fullerton, both in the relative short-to mid-term in the structural rehabilitation and construction portions of implementation, as well as long-term employment opportunities in several aspects of the health care field as the new facilities come on line.

■ **Goal LU-4: Growth Management**

Orderly growth and development based on the City's ability to provide adequate transportation and infrastructure facilities.

Each phase of the St. Jude Medical Center Replacement Plan Project has been planned and laid out with consideration given not only to the availability of infrastructure facilities, but also to the ability to provide valuable health care services to the community without interruption. Total build-out of the project is anticipated to take approximately 26 years, with each phase of the project affecting only a portion of the project site. Utility and circulation/

parking improvements will be implemented concurrently with each phase so as to ensure that adequate service levels are maintained as incremental development comes on line.

Policy LU-4.2

Balance land use and traffic capacity, so that existing and future development can be supported by the roadway network at traffic levels of service (LOS) no worse than LOS D (with reasonable exceptions in order to preserve City character).

The expansion of hospital facilities has the potential to increase traffic at local intersections and roadways. This could alter traffic circulation in the project area and would affect the volume to capacity ratios and the levels of service at local intersections and roadways. A full traffic analysis has been conducted for the proposed project and incorporated with the project's CEQA documentation. Mitigation measures are identified that will be implemented as part of the project to reduce impacts to below a level of significance.

■ **Goal LU-5: Focus Area Policies**

Specific land use policies as appropriate to guide and stimulate land use growth in specific areas of the city.

Sunnycrest Center

- a. **Develop a plan with property owners and adjacent neighborhoods for better utilization of this commercial center.**
- b. **Potential development opportunities include: Increased commercial industry; a medical office complex and uses complementary with surrounding medical facilities.**

Focus Area 10, also known as the Sunnycrest Center, is roughly bounded by Bastanchury Road to the north, Berkeley Avenue to the west, Valencia Mesa Drive to the South and N. Harbor Boulevard to the east; and lies immediately to the west of the project site. The proposed St. Jude Medical Center Replacement Plan Project supports the General Plan policies for this Focus Area and, although it does not propose any specific development on this site, it does include a skybridge connection to the pedestrian bridge that crosses N. Harbor Boulevard. This bridge connects SJMC to this focus area, including the existing St. Jude Medical Office Building.

A.2 Circulation Element

▪ Goal C-1: Overall Approach

A comprehensive street and parking automobile transportation network which supports the movement of people and goods in a safe and efficient manner using a variety of modes.

The project includes phased development of internal private drives, parking lots and parking structures to accommodate circulation within the site as each phase of the project is implemented. The project also includes a skyway connection to the pedestrian bridge that crosses N. Harbor Boulevard to facilitate pedestrian access to the St. Jude Medical Office Building and commercial center uses to the west of the main campus. This Specific Plan supports the General Plan's goal of maintaining a comprehensive transportation network.

Policy C-1.1

Provide and maintain network of arterial highways and streets to direct and channel non-local and large vehicle traffic as well as to accommodate the internal circulation needs of Fullerton's businesses and residents.

The project's internal private drives will adequately accommodate circulation within the site. A full traffic analysis has been conducted for the proposed project and incorporated with

the project's CEQA documentation. Mitigation measures are identified that will be implemented as part of the project to reduce impacts to below a level of significance.

▪ Goal C-2: Non-Automobile Transportation

A comprehensive network of bicycle, hiking, and bridle trails, which safely and conveniently serve the recreation and commuter transportation needs of the community.

The Brea Dam Regional Trail, a recreation trail, will run through a portion of the Brea Dam Recreational Area near to the eastern edge of the SJMC campus, and will connect with the Brea Dam Connector Trail, which will terminate at the Fullerton Tennis Center. In addition, sidewalks will be incorporated into the parkways along Bastanchury Road and N. Harbor Boulevard adjacent to the property, facilitating pedestrian and bicycle access to the site and surrounding uses.

Policy C-2.1

Promote safe, convenient, and pleasant bicycle travel and a system of routes throughout Fullerton which connect with a designated regional network and to major activity centers.

In addition to the Brea Dam Trail, the Fullerton General Plan calls for a Class II Bikeway along

Valencia Mesa Drive and a Class I Bikeway through the Brea Dam Recreational Area at the eastern edge of the project site. These potential trails are components of a greater network of bicycle trails as mapped in the City's Master Plan of Bikeways that serve to connect different areas of the City to local parks, recreational facilities and other attractions.

Policy C-2.2

Encourage the establishment and use of bicycle-related facilities and services in public and private developments.

The detailed design plans for the project are anticipated to include pedestrian plazas and courtyards with appropriate street furniture, such as benches, trash receptacles, pedestrian lighting, and bicycle racks, etc. The pedestrian environment on the site will be designed to accommodate and encourage bicycle travel to and from the project area for employees, visitors and other staff, with convenient access from public walkways to building entrances, clearly defined pedestrian paths and in some areas, raised pathways to separate pedestrian/bicycle paths from vehicular circulation areas.

Policy C-2.4

Maximize the efficiency of the City's circulation system through the use of transportation system management and demand management strategies.

A full traffic analysis has been conducted for the proposed project that is incorporated with the project's CEQA documentation. Mitigation measures are identified, including appropriate transportation system management and demand management strategies, that will be implemented as part of the project to reduce impacts to below a level of significance.

- **Goal C-3: Public Transit**

A public transportation system which serves the needs of the community, is accessible to all, and is a viable alternative to the single occupant vehicle.

The public bus system in the City of Fullerton is operated by the Orange County Transportation Authority (OCTA) and includes a total of 22 bus lines. Route 147-Brea to Santa Ana runs along Bastanchury Road and N. Harbor Boulevard with stops at Bastanchury Road/Brea Boulevard and Bastanchury Road/Puente Street, approximately one mile east of the project site. The Fullerton Transportation Center is approximately two miles south of the St. Jude Medical Center providing convenient access to the project site for employees, visitors and other

staff members from several areas throughout Orange County.

Policy C-3.1

Encourage and facilitate the use of public transportation and ridesharing for all its residents.

The Fullerton Transportation Center is approximately two miles south of the St. Jude Medical Center providing convenient access to the project site for employees, visitors and other staff members from several areas throughout Orange County.

- **Goal C-5: Growth and Traffic Management**

A roadway network which supports existing and future land uses with minimal levels of traffic congestion.

The expansion of hospital facilities has the potential to increase traffic at local intersections and roadways, including Bastanchury Road and N. Harbor Boulevard. A full traffic analysis has been conducted for the proposed project and incorporated with the project's CEQA documentation. Mitigation measures are identified that will be implemented as part of the project to reduce impacts to below a level of significance.

Policy C-5.1

Land use and traffic capacity shall be balanced, so that existing and future development can be supported by the roadway network at no worse than LOS D (with reasonable exceptions in order to preserve City character).

The expansion of hospital facilities has the potential to increase traffic at local intersections and roadways. A full traffic analysis has been conducted for the proposed project and incorporated with the project's CEQA documentation. Mitigation measures are identified in the Mitigated Negative Declaration that will be implemented as part of the project to reduce impacts to below a level of significance.

Policy C-5.3

The City shall establish and maintain programs requiring new development to pay its fair share of costs associated with the traffic improvements necessary to support that development.

As part of the CEQA analysis for the project a traffic analysis was prepared that identifies applicable mitigation measures that will be implemented to reduce any potential project impacts, including street improvements, minor circulation plan modifications, or payment of in-lieu fees for future improvements. The project supports the General Plan's policy to

establish programs requiring new development to pay fair share costs for implementation of necessary roadway improvements to support development.

Policy C-5.4

Land use growth and traffic improvements identified in the General Plan shall be phased so that needed traffic improvements will be provided commensurate with land use demand.

The expansion of hospital facilities has the potential to increase traffic at local intersections and roadways, including Bastanchury Road and N. Harbor Boulevard. A full traffic analysis has been conducted for the proposed project and incorporated with the project's CEQA documentation. Mitigation measures are identified that will be implemented as part of the project to reduce impacts to below a level of significance.

A.3 Housing Element

The Housing Element of the Fullerton General Plan is not applicable to this project, since no housing is planned.

A.4 Resource Management Element

▪ Goal RM-2: Parks and Open Space

A combination of public and private open space and park land conveniently located and designed to be responsive to residents' needs.

The project will include a minimum of 15% private open space, which will consist of landscaped parkways, plazas, courtyards, and other common areas. These open space areas can be linked to other open space and recreation areas, such as the adjacent Fullerton Tennis Center and Brea Dam Recreation Area, with clearly defined pedestrian walkways or paths.

Policy RM-2.3

Promote safe, convenient, and pleasant pedestrian, equestrian and off-road bicycle travel on an adopted system of recreational trails which encourages the use of related facilities and services, and connects with a designated regional network.

The Brea Dam Regional Trail, a recreation trail, will run through a portion of the Brea Dam Recreational Area near to the eastern edge of the SJMC campus, and will connect with the Brea Dam Connector Trail, which will terminate at the Fullerton Tennis Center. In addition to the Brea Dam Trail, the Fullerton General Plan calls for a Class II Bikeway along Valencia Mesa Drive and through the Brea Dam Recreational

Area at the eastern edge of the project site. These trails will be components of a greater network of bicycle trails as mapped in the City's Master Plan of Bikeways that serve to connect different areas of the City to local parks, recreational facilities, and other attractions.

▪ Goal RM-3: Scenic Corridors and Rural Streets

Designated scenic and rural roads designed to retain desirable vistas or close range environment and rustic settings.

Bastanchury Road and N. Harbor Boulevard are both designated as Scenic Corridors in the City's General Plan. Landscape treatments along these roadways will enhance the visual setting.

Policy RM-3.1

Identify, manage and regulate the roadside of scenic corridors.

Bastanchury Road and N. Harbor Boulevard are both designated as Scenic Corridors in the City's General Plan. Some portions of these roads afford "long distance" views of the Puente Hills and San Gabriel mountains, though they offer an indistinctive "view from the road". A view analysis has been conducted as part of the CEQA documentation for the project and did not identify project impacts to these long range views. Mitigation measures are identified, including landscape treatment along these roadways to enhance the visual setting, that

will be implemented to reduce potential impacts to below a level of significance. In addition ample landscape parkways are proposed along Bastanchury Road and N. Harbor Boulevard which will enhance the view from the road within the project's vicinity.

▪ **Goal RM-4: Energy Conservation**

A well-informed and highly motivated City government and public that recognize the importance of, and practice, energy and resource conservation.

The project supports the intention of the City of Fullerton to promote energy and resource conservation and will implement any applicable City standards or regulations that pertain to the conservation of energy and other resources. The proposed project will completely replace Central Plant utilities over the life of the Specific Plan with more efficient, modern equipment.

Policy RM-4.1

Conserve energy, water and other resources.

The SJMC is dedicated to the conservation of energy, water and other resources and implements various practices in its daily operations towards this end.

A.5 Community Health & Safety Element

▪ **Goal CHS-1: Police and Fire Operations**

Efficient, well-equipped and responsive fire and police departments which offer maximum feasible personal safety and protection from loss of life and property.

Currently, fire protection and paramedic services for the project site are provided by the City of Fullerton Fire Department. Station 4 located at 3251 N. Harbor Boulevard is the closest station and would provide first response to the project site. The City of Fullerton Police Department currently provides police protection services to the project site.

Policy CHS-1.3

Encourage physical planning techniques which will help prevent accidents, crimes and fires.

During construction, emergency access to the site by fire trucks and police/security vehicles may be impeded. Additionally, the expanded facilities would add new structures, which would increase demand on existing police and fire protection services. However, with incorporation of standard City requirements, the requirements of the Uniform Building Code, requirements of the City of Fullerton Fire Department and Police Department the potential impacts would be reduced to a less than significant level. Any applicable mitigation

measures identified in the project's CEQA analysis, will be implemented as part of the project, such as provision of adequate fire flows and access to the project site for safety vehicles, and installation of security systems for crime prevention. Additionally, with enhancement of the existing structures and construction of new structures, the impacts related to fire prevention and suppression would further be reduced as new technology would be incorporated into the design of the existing and proposed buildings.

▪ **Goal CHS-5: Seismic Safety**

A community with maximum feasible protection from seismic hazards.

Except for an admitting/outpatient services building (3,500 square feet total), all existing campus buildings on the SJMC campus are "collapse hazard" buildings. By January 2030, all non-structurally compliant acute care buildings unable to withstand a significant seismic event, must be upgraded and/or replaced with structurally compliant acute care buildings with the capacity to operate for 72 hours subsequent to a seismic event. The Specific Plan implements maximum protection from seismic hazards.

Policy CHS-5.2

Take reasonable measures to protect the public from earthquakes through building and planning activities.

The project site is located in the seismically active region of southern California, however, this hazard is common in southern California, and the effects of ground shaking can be mitigated through adherence to the most current seismic design standards and engineering practices. Any applicable mitigation measures identified in the project's CEQA analysis, will be implemented as part of the project, such as designing all structures in accordance with the seismic design provisions of the California Building Codes or Structural Engineering association of California.

A.6 Community Services Element

The Community Services Element of the Fullerton General Plan is not applicable to the St. Jude Medical Center Replacement Plan Project.

A.7 Regional Coordination Element

▪ Goal RC-2: Air Quality

An environment with clean air.

The St. Jude Medical Center Replacement Plan Project is consistent with the General Plan land use designation and the South Coast Air Quality Management Plan (AQMP). The project has been accounted for in regional emissions inventories and projections. An air quality analysis was

prepared for the project as part of the MND process. The analysis identifies mitigation measures that will reduce potential air quality impacts associated with project implementation to below a level of significance.

Policy RC-2.1

Participate in regional efforts to improve air quality.

An air quality analysis was prepared as part of the project's CEQA documentation for the project. The analysis identifies mitigation measures that will reduce potential regional air quality impacts associated with implementation of the proposed project to below a level of significance.

A.8 Implementation & Public Participation Element

▪ Goal I-1: General Plan Implementation

Land use decisions which are based on the General Plan.

The project proposes to intensify the current land uses on-site from a 333 bed hospital to a 512 bed hospital. Implementation of the Specific Plan will not introduce any new uses to the property. All current and planned uses are consistent with the General Plan designation of "Office."

Policy I-1.1

Continuously implement the General Plan.

This Specific Plan provides for the phased implementation of the St. Jude Medical Center Replacement Plan Project in accordance with the Fullerton General Plan, which states that "the Specific Plan designation allows for adoption of development standards and regulations adapted to the Specific Plan area. These standards might include increases in development intensity in order to achieve specified project goals." A General Plan Revision (GPR) was prepared in conjunction with this Specific Plan to increase the site's maximum allowable floor area ratio (F.A.R.) to accommodate the project at build-out. The increase in intensity of development will be consistent with the General Plan since the GPR that accompanied this Specific Plan modified Table LU-4 in the General Plan to increase the allowable Cap F.A.R. for the SJMC campus to 1.700. In addition, as part of the GPR: (1) reclassified the Recreational Trail in the Fullerton Tennis Center (west of the Brea Dam) from "Regional Trail" to "Connector Trail" as discussed in the Resource Management Element and Exhibit RM-2 of the General Plan; (2) reclassified the Bikeway on Valencia Mesa Drive from Harbor Boulevard to the Brea Dam from Class I and II to a Class II Bikeway as shown on Exhibit C-6 in the Circulation Element of the General Plan; and (3) removed the segment of the Class II Bikeway on N. Harbor Boulevard

between Valencia Mesa Drive and Bastanchury Road as shown on Exhibit C-6 in the Circulation Element of the General Plan.

The Master Plan of Bikeways in the General Plan will be amended to eliminate the “Class II Bikeway (Not Yet Completed)” designation along N. Harbor Boulevard from Valencia Mesa Drive north to its proposed terminus just to the south of Las Palmas Drive.

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ST. JUDE MEDICAL CENTER REPLACEMENT PLAN Specific Plan Amendment

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