

December 2007



SPECIFIC PLAN

Prepared for:
City of Fullerton

Applicant:



JPI Development
600 E. Las Colinas Boulevard, Suite 1800 • Irving, TX 75039
Contact: Lance Hanna

Prepared by:



Sheldon Group
901 Dove Street, Suite 140 • Newport Beach, CA 92660
Contact: Greg McCafferty



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JEFFERSON COMMONS
FULLERTON ACADEMIC VILLAGE



1.0 Executive Summary



1.0 EXECUTIVE SUMMARY

The *Jefferson Commons* project includes a mixed-use student-oriented housing/retail project in the City of Fullerton that will provide housing and neighborhood-serving retail to a large group of potential residents attending area universities on five (5) parcels, totaling 6.8 acres (296,013 s.f.) near the Hope University campus (2565, 2555, 2545 East Chapman Avenue; 501 North Commonwealth; 2540 East College Place respectively). The site currently consists of multi-family residential housing and various office buildings, ranging from two- (2) to seven- (7) stories that are mainly utilized by Hope International University.

JPI Student Living is headquartered in Irving, Texas. They provide a broad range of services from design, development, renovation and financing to construction, property management and Residence Life programs. JPI has successfully developed over 35 student-oriented housing communities nationwide, serving over 24,000 residents. They have also acquired and renovated 10 communities serving 7,000 residents.

JPI is a company founded on building the best fully integrated apartment homes in the industry. JPI's mission is "*Building Quality for Our Customers*".

JPI provides fully furnished apartment homes with kitchens, washers and dryers, internet, cable and phone services. Like other newly developed student-oriented apartment communities within the industry, JPI leases by the person and not by the unit. All leases must have a guarantor (typically a parent with income approximating a sufficient multiple to cover the base rent). An enforced code of conduct policy accompanies each lease for signature by the resident and the guarantor.

JPI promotes its communities as one way to make the transition to college life worry free. The project will encompass an off-campus experience with community service opportunities, social events and neighborhood-serving retail.

Responsible development of the *Jefferson Commons* project area will be ensured through the adoption of the Specific Plan that provides both the planning context and regulatory framework for the project. This specific plan is the initial step in what will be a broader planning effort that will involve the City, area stakeholders and other members of the public



in establishing a vision and implementing plan for what has been informally called the “Education District”. As a member of Fullerton’s education community, JPI is looking forward to participating.





JEFFERSON COMMONS
FULLERTON ACADEMIC VILLAGE



2.0 Introduction



2.0 INTRODUCTION

2.1 Purpose and Intent

The purpose of the *Jefferson Commons* Specific Plan is to serve as a planning and regulatory tool for the orderly development of a 6.8-gross acre, mixed-use (commercial retail/ multi-family residential) residential student-oriented apartment community. This Specific Plan establishes the overall land use concept and defines the development regulations, requirements, and design guidelines for the development of the student-oriented housing and retail uses. The specific plan will also set the stage for future planning efforts in the surrounding area focused on establishing overall planning concepts supporting the concentration of educational uses.

Upon approval of the proposed general plan amendment, this Specific Plan will be consistent with the City of Fullerton General Plan, as well as applicable provisions of the City of Fullerton Zoning Code. Refer to Section 2.6 for the authority and scope of the Specific Plan.

2.2 Location and Setting

Jefferson Commons is located in the City of Fullerton, in north Orange County, California. Fullerton is located approximately 22 miles southeast of downtown Los Angeles and 98 miles north of San Diego, in the center of northern Orange County. The City occupies approximately 22.3 square miles of land with an estimated population of 136,428. (California State Department of Finance, May 2006).

The project site is located in northeastern Fullerton, bounded by existing multi-family residential and garden office uses to the east, single-family residential uses to the south, Hope International University to the north and commercial uses to the west. An apartment complex is located contiguous to and along the northern border of the project site. Refer to ***Exhibit 2.1, Regional Location Map*** and ***Exhibit 2.2, Local Vicinity Map***.

A. Existing Surrounding Land Uses

The project site is approximately one-half of a mile west of the 57 Freeway, approximately one-and-one half mile north of the 91 Freeway and .25 miles east of North State College Boulevard.



There are five (5) higher education schools and universities within a two-mile radius of the subject location, including: California State University, Fullerton; Hope International University; the Southern California School of Optometry; Fullerton College; and Western State School of Law. Thus, the majority of the surrounding land uses are those that cater to, or support these schools.

The area generally is improved with a mix of commercial retail and office uses, and multi-family apartment housing.

The immediately adjacent property to the west of the project location is developed with a commercial office building with on-site surface parking. The parcels to the southwest across Chapman Avenue moving west to State College Boulevard are improved with retail commercial uses and on-site surface parking.

Areas to the southeast are developed with single-family residences and those to the east, across Commonwealth Avenue are improved with multi-family residential

apartment buildings and garden-style office buildings.

The areas directly to the north are owned and operated by Hope International University and are improved with administrative office buildings, lecture halls and other campus serving uses. Also, an apartment complex is located contiguous to and along the northern border of the project site, south of College Place.

B. Project Area Site

The property is located on the northwest corner of Commonwealth Avenue and Chapman Avenue, approximately one-quarter of a mile east of North State College Boulevard.

The subject site encompasses five (5) separate parcels, (APN: 338-112-06, 338-112-07, 338-112-012, 338-112-013, and 338-112-015) that equal approximately 6.8 acres (approx. 296,013 sq. ft.). The southern most property line fronts on the north side of Chapman Avenue and consists of approximately 685 linear feet of street frontage. Likewise, there



is approximately 400 linear feet of street frontage at the east property line of the site at Commonwealth Avenue.

Refer to ***Exhibit 2.3, Project Aerial.***

C. Existing Land Use Policy

There are two (2) existing General Plan land use designations for the project site.

The area at the southeastern corner of the subject site located at the corner of Commonwealth Avenue and Chapman Avenue and, continuing north to College Place, is designated High-Density Residential; this residential category permits the development of attached multi-family, residential structures, and/or complexes at densities over 28 units per acre and above. Based on the 1990 Census average household size of 2.78, this equates to a per person standard of 77.8 persons per acre and above.

The area at the west and southwesterly portion of the site is designated Office for professional office uses and allows for the

development of multi-story office buildings at a density that is defined by the Floor to Area ratio (F.A.R.) calculation (Floor Area/Lot Area) where the allowable floor area is .30-.35 of the total lot area and is measured in square feet (sq. ft.)

At present, there are two (2) separate zoning designations for the project area.

The eastern portion of the project area, beginning at the southeast corner of the site and continuing north to East College Place (APNs 338-112-06 and 338-112-07) is zoned R-3 (Medium Density Residential), which allows for a density of up to 27 du/acre.

The area at the west and southwesterly portion of the site (APNs 338-112-12, 338-112-13, and 338-112-15) has a zoning designation of O-P (Office-Professional). For commercial zones, the allowable density is determined per the F.A.R. (Floor to Area Ratio) of 35% of the total land area.

Section 4.2, Land Use Summary, of this Specific Plan document further details the existing and proposed land use policy.

[illegible]



EXHIBIT 2.2 – Local Vicinity Map

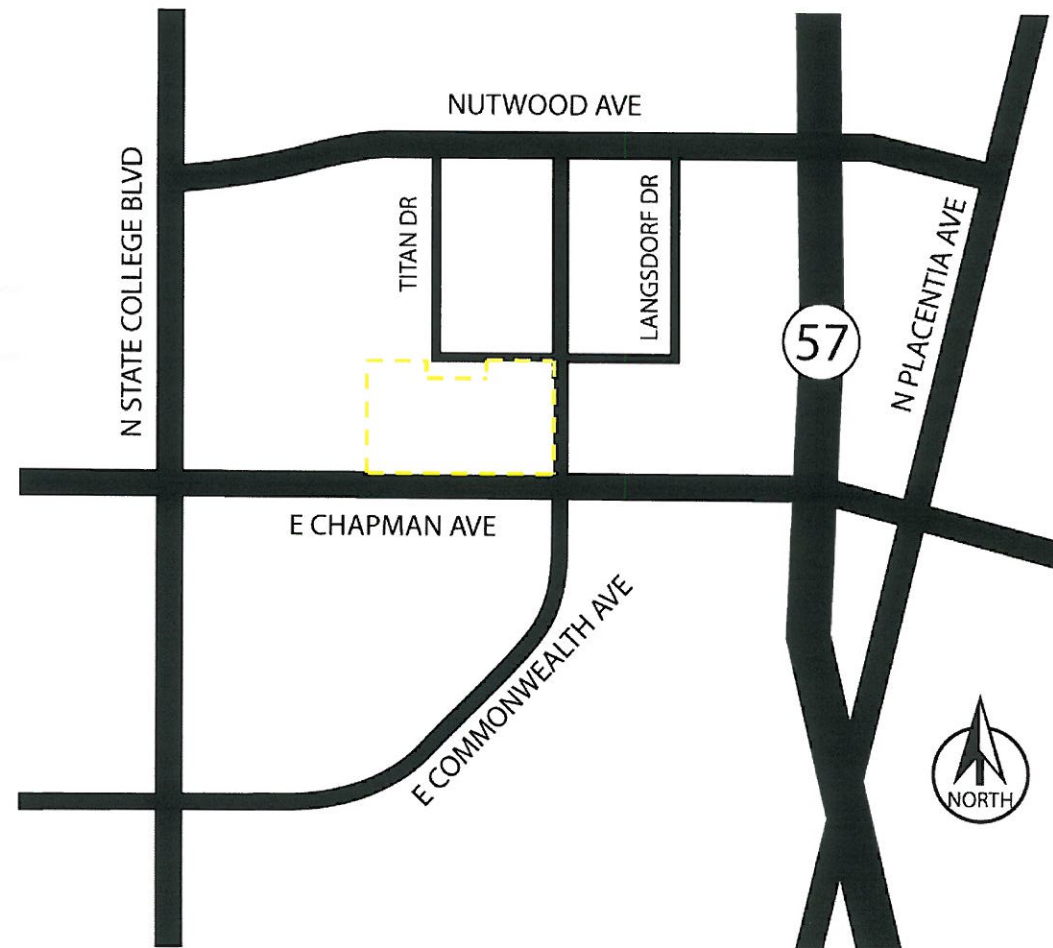
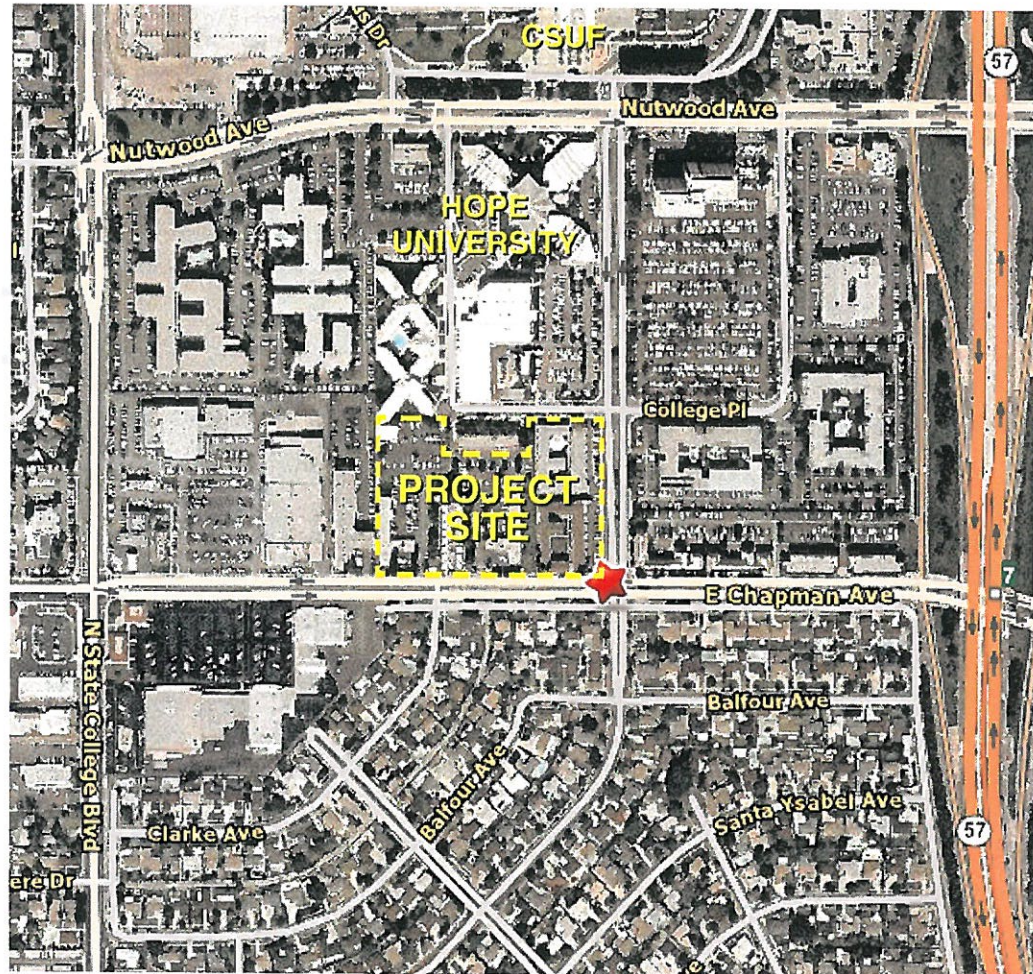




EXHIBIT 2.3 – Project Aerial





2.3 Organization of the Specific Plan

The *Jefferson Commons* Specific Plan is organized in the following chapters:

- 1.0 **Executive Summary** – The Executive Summary provides a broad overview of the Specific Plan and a brief background regarding the impetus to the development of the Specific Plan program.
- 2.0 **Introduction** – This chapter includes the location and setting of the project, objectives, and the required entitlements for the project.
- 3.0 **Planning Framework** - This chapter provides the policy foundation for the Specific Plan document. The Specific Plan planning framework describes public outreach activities and Specific Plan Goals and Objectives related to the development and implementation of the *Jefferson Commons* Specific Plan.
- 4.0 **Development Plan** – This chapter provides the specific land use,

circulation, community design and streetscape, and infrastructure improvement plans related to the project's development concept.

- 5.0 **Design Guidelines** – This chapter sets forth the design programs and requirements for the project, identifying the architectural theme as well as a landscape program for the site.
- 6.0 **Land Use And Development Regulations** – This chapter sets forth the land use designations and regulations for the Specific Plan area.
- 7.0 **Implementation and Administration** – This chapter provides requirements for development review and administration of the Specific Plan and an overall program of infrastructure financing for the necessary on- and off-site public facilities.
- A-1 **Appendix A** - This appendix provides an analysis of General Plan consistency.



B-1 **Appendix B** – This appendix provides the exhibits of the *Jefferson Commons* project.

2.4 California Environmental Quality Act Compliance

The *Jefferson Commons* Specific Plan has been prepared in compliance with the requirements of the California Environmental Quality Act (CEQA). Pursuant to State and Local CEQA Guidelines, the City of Fullerton prepared an Initial Study/Environmental Checklist. The City of Fullerton determined that the Specific Plan could result in additional environmental impacts, and therefore, required additional environmental review. As a supplement to this Specific Plan, an Environmental Impact Report (EIR) has been prepared that responds to the potential impacts identified in the Initial Study.

The EIR includes an introduction, project description, description of existing environmental conditions, assessment of impacts and mitigation measures as directed by the City of Fullerton, in accordance with CEQA guidelines.

2.5 Required Entitlements

The following entitlement actions will be required as part of the implementation of the proposed project:

Environmental Impact Report (EIR) No. SCH# 2007031073)

An EIR pursuant to CEQA that analyzes potential environmental impacts of the project will be considered by the City Council prior to adoption of the Specific Plan. A Mitigation Monitoring and Reporting Program will be required to ensure that mitigation measures are implemented.

General Plan Amendment:

As noted previously, there are currently two (2) separate General Plan land use designations that regulate the subject site.

The two parcels to the east, along Commonwealth Avenue, have a land use designation of High Density Residential, which is consistent with the proposed residential density for the project. Additionally, the General Plan allows for



convenience commercial uses as part of a residential neighborhood within a Residential land use designation.

The parcels to the south and southwest have a land use designation of Office which does not accommodate residential or retail uses.

Thus, it shall be required that the existing General Plan land use designations of Office be modified to the High Density Residential land use designation consistent with the remainder of the site.

Refer to Exhibits **4.1 and 4.2, Existing General Plan Land Use;** and **Proposed General Plan Land Use.**

Zone Change/ Specific Plan District:

As previously noted, there are currently two (2) separate zoning classifications that regulate the subject site. The two parcels to the east are R-3 (limited density multi-family residential) while the parcels to the south and southwest are O-P (office professional). Neither zone allows for the combination of residential and neighborhood serving

commercial uses in a mixed-use development on the same project site.

In order to provide for a development that mixes residential uses with commercial uses on-site to create a student-oriented project to function as a gateway into the area encompassing California State University and the other schools of higher education, a zone change to SPD (Specific Plan District) will be required.

The City is planning to initiate a planning process that will result in a comprehensive vision for this area of the City. The plan will likely include a mix of complementary uses such as education, student housing, office and supporting commercial uses. This specific plan proposes uses that would be consistent with existing and contemplated uses resulting from the City's planning efforts.

In conjunction with the zoning classification of SPD, adoption of the corresponding Specific Plan is required. The *Jefferson Commons* Specific Plan provides for site development standards unique to student



housing. The density, floor plan design, amenities and management of the facility are specific to student housing. As such, the traditional multi-family development standards contained in the Fullerton Zoning Code are not appropriate. The specific plan is consistent with the existing and proposed High Density Residential designation of the site. The Specific Plan includes guidelines necessary for the implementation of the General Plan, and also includes site-specific Permitted Uses and Development Standards. The Specific Plan District (SPD) allows for provision of the mixed-use, student-oriented housing residential development and establishes the type, location, intensity, and character of development to take place while allowing for creative and imaginative design concepts for the mixed-use, student-oriented housing community. **Refer to Exhibits 4.3 and 4.4, Existing Zoning and Proposed Zoning.** Where conflicts exist between the Specific Plan and the Zoning Code, the Specific Plan shall take precedence.

A general plan amendment would be required to add SPD as a zoning classification

consistent with the Residential (High Density) General Plan land use designation.

Major Development Project Review:

A Major Development Project Review, in accordance with Title 15 of the Fullerton Municipal Code, is required for any new use of vacant land and for new construction in a residential zone classification other than single- and two-family development for properties located in a Community Improvement District (Redevelopment Area). The project site is within Project Area 3 of the Redevelopment Plan's project area. As such Major Development Project Review is required.

The Major Development Project Review provides for the review of those development qualities which are not subject to precise statement in the regulations of each zone, in order to assure that yards, open space, structures, parking, loading facilities, landscaping, streets and similar uses and development of land within each zone will be located in accordance with an approved plan providing for compatible developments within



the zone in which the property is situated, as well as a compatible relationship with developments in adjoining zones (FMC Section 15.47.010). Approval of a Major Development Project shall be required pursuant to the procedures described in Chapter 7.0 of this Specific Plan. Approval of a Conceptual Grading Plan shall be required in conjunction with the Major Development Project Review approval.

Conditional Use Permit:

A Conditional Use Permit (CUP), in accordance with Title 15 of the Fullerton Municipal Code, is required for the project to assure that the degree of compatibility shall be maintained with respect to the particular use on the particular site and that consideration is made with respect to other existing and potential uses within the general area. In accordance with the proposed Specific Plan, student-oriented housing is a use requiring a Conditional Use Permit. The Applicant will seek approval of a Conditional Use Permit to ensure that conditions are imposed such that the use remains reasonably compatible with the uses in the

surrounding neighborhood and will not be injurious to the neighborhood or otherwise detrimental to the public health, safety, or general welfare.

Additionally, the CUP recognizes and compensates for variations and degree of technological advancements in processes and equipment as related to the factors of noise, smoke, dust, fumes vibration, odors and hazards, for example (FMC Section 15.70.010 C). Typically, certain conditions are applied to the use to regulate the operation.

Tentative Tract Map:

A Tentative Tract Map is proposed to consolidate lots and to facilitate possible separate ownership of the entire commercial space. **Refer to Exhibit 2.4, Tentative Tract Map.**

In order to construct the project, appropriate permits (such as grading and building permits, etc.) must be obtained from the City, through the City's Building Division.



2.6 Authority and Scope of the Specific Plan

California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457 (Specific Plans) grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of the General Plan. The Planning Commission must hold at least one public hearing before the planning agency can recommend the adoption of a Specific Plan.

As expressed in California law, Specific Plans may be adopted either by ordinance or by resolution. This allows jurisdictions to choose whether their specific plans will be policy driven (adopted by resolution) or regulatory in nature (adopted by ordinance). This Specific Plan is a regulatory document, adopted by ordinance.



EXHIBIT 2.4 – Tentative Tract Map

* These plans are conceptual and subject to final approval from the city of Fullerton

IN THE CITY OF FULLERTON, COUNTY OF ORANGE, STATE OF CALIFORNIA

TENTATIVE TRACT MAP NO. 17162

THIS SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE PROPOSED LOT SHALL BE FOR RESIDENTIAL USE AND SHALL INCLUDE 4 COMMERCIAL UNITS.

6.803 ACRES (GROSS)
APN 338 112 05, 338 112 07, 338 112 12, 338 112 13, AND 338 112 15
SPLIT MAP 12, 2007

0 20 40
SCALE IN FEET
1"=40'

APPLICANT/DEVELOPER:

JAY STUDENT LIVING
400 E. JAY COLLEGE BOULEVARD, SUITE 1000
IRVING, TEXAS 75039

PROPERTY OWNER:

JAY DEVELOPMENT
600 E. JAY COLLEGE BOULEVARD, SUITE 1000
IRVING, TEXAS 75039

CIVIL ENGINEER:

RON KOSCHANSKY
4100 NEWPORT PLACE DRIVE, SUITE 200
NEWPORT BEACH, CALIFORNIA 92660
ATTN: JAMES A. KOSCHANSKY
PHONE: 949-443-1440

LEGAL DESCRIPTION:

PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 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2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2



As set forth in the Government Code, Section 65451, a Specific Plan must contain the following information:

- A description of the general distribution, location, and extent of the uses of land within the area covered by the plan.
- The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the Specific Plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures, including regulations, programs, public works projects and financing measures

necessary to carry out the above information.

This Specific Plan is regulatory in nature, and serves as the adopted zoning for the property. Uses, development plans, site plans and any subsequent development activity must be consistent with both this Specific Plan and the City's General Plan. The scope of the Specific Plan is governed by State law, and includes land use, infrastructure, standards, implementation measures, and a statement of the relationship to the General Plan.

All regulations, conditions, and programs contained herein shall be deemed separate, distinct, and independent provisions of the *Jefferson Commons* Specific Plan. In the event that any such provision is held invalid or unconstitutional by a court of competent jurisdiction, the validity of all remaining provisions of this Specific Plan shall not be affected.



3.0 Planning Framework



3.0 PLANNING FRAMEWORK

3.1 Public Outreach and Community Input

A series of public meetings and community outreach activities have been an integral part of developing the *Jefferson Commons* Specific Plan. A number of public workshops, community meetings, stakeholder and informal meetings occurred during 2006 and 2007. Local citizen groups, neighborhood groups and associations, local businesses, the Fullerton Chamber of Commerce and other stakeholders have been consulted and contacted regarding the *Jefferson Commons* project. The purpose of these outreach activities was to educate and solicit community and stakeholder input. In order to facilitate the development review process and address issues of mutual concern, the goal of the Specific Plan is to ensure the development project benefits the community and is responsive to community concerns.

A. *Jefferson Commons* Community Outreach Plan

The following is a summary of the Jefferson Commons Specific Plan's community outreach efforts:

Jefferson Commons Sponsored Community Meetings

Representatives from Jefferson Commons have contacted property owners and neighbors located within a 300-foot radius of the site. An informational meeting was also held with interested residents.

Door-to-Door

Jefferson Commons representatives have walked various neighborhoods surrounding the project site to discuss the project one-on-one and to answer questions and concerns of the local homeowners.

Merchant Outreach

Jefferson Commons representatives met with local business owners through Chamber of Commerce meetings and events, and have



utilized direct mail and a web site to disseminate information about the project.

3.2 Specific Plan Policy Framework

A. Project Objectives

The proposed project will provide a mix of student-oriented and neighborhood-serving uses that include commercial-retail and administrative offices at the ground level, and fully-furnished residential apartments above.

The project is designed to accommodate the higher education student population in the City of Fullerton. There are several security measures in place both in the physical design and within the standard operating policy. It will be required that the management company implement a security plan and controlled access plan.

The student-oriented leasing structure is administered through individual leases for each resident rather than a joint-and-several leasing structure for each unit. All units are fully furnished with full kitchens and in-unit washer/dryer appliances.

The commercial-retail uses proposed at the ground level will be neighborhood serving for the Fullerton education district.

Jefferson Commons is committed to being in tune with the needs of the community and is sensitive to the desire for development that is compatible with the existing surrounding land uses.

The use of innovative concepts and design are incorporated in every aspect of the project. It is our goal to serve the residents of Fullerton (both student and other), while providing high quality living, working and retail services that will serve the nature of the diverse, ever changing population of the area for years to come.

The objectives for the *Jefferson Commons* project are as follows. Objectives are grouped into categories that correspond with Elements of the City's General Plan. Goals and policies from General Plan elements are cited with the objectives:

Land Use Objectives

- To adopt a Specific Plan that meets the requirements of State law and implements the General Plan policies to ensure



comprehensive development consistent with the surrounding area;

- To establish zoning standards and implementation mechanisms applicable solely to the *Jefferson Commons* Project consistent with the Fullerton Municipal Code; and
- To design and develop an attractive community at a density consistent with the High Density Residential land use designation that is compatible with the existing neighborhood and environment.

(General Plan Land Use Element Goals and Policies: Goal LU-1, Policy LU-1.1, Policy LU-1.2, Goal LU-2, Policy LU-2.1, Policy LU-2.3, Goal LU-4, and Policy LU-4.1).

Circulation Objectives

- To provide an on-site circulation system that efficiently conveys traffic through the project area; provides adequate parking for residents, visitors and staff members;

- To provide separation of vehicular and pedestrian activities;

(General Plan Circulation Element Goals and Policies: Goal C-1, Policy C-1.1, Policy C-1.4, Goal C-2, Policy C-2.3, Goal C-3, and Goal C-5).

Housing Objectives

- To design and develop a mixed-use, commercial retail, residential project to serve a community need for student-oriented housing in the City of Fullerton;
- To provide much needed additional rental housing in the City of Fullerton and local area; and
- To create an environment that promotes a pedestrian friendly, community serving commercial retail and student-oriented housing community that supports the growing student population, and serves the surrounding residential community, while supplementing the urban environment that is reminiscent of the college student



environment and the immediately surrounding area.

(General Plan Housing Element Goals and Policies: Goal H-1, Policy H-1.1, Goal H-3, Policy H-3.1).

Community Health and Safety Objectives

- To design a project in a manner that provides for adequate public safety with regard to access, traffic and circulation, and parking;
- To mitigate any potential environmental impacts in accordance with the California Environmental Quality Act (CEQA); and
- To design a project in a manner that is consistent with the City's noise requirements.

(General Plan Community Health and Safety Element Goals and Policies: Goal CHS-1, Policy CHS -1.3, Goal CHS-4, Goal CHS-5, Policy CHS-5.2, and Goal CHS-6).

Resource Management Objectives

- To provide private and common open space amenities such as athletic facilities, swimming pool(s), study courts and passive recreational gathering spaces;
- To provide adequate open space by the provision of setbacks;
- To landscape the project area in accordance with City landscape guidelines; and
- To incorporate appropriate design and architectural treatments to reduce potential visual impacts to surrounding development.

(General Plan Resource Management Element Goals and Policies: Goal RM-2, Policy RM-2.1, Policy RM-2.3, Goal RM-3, and Policy RM-3.1; and Circulation Element Goals and Policies: Goal C-1, Policy C-1.4, Goal C-2, and Policy C-2.3).



JEFFERSON COMMONS
FULLERTON ACADEMIC VILLAGE



4.0 Development Plan



4.0 DEVELOPMENT PLAN

4.1 Project Overview

Development within the Specific Plan includes the demolition of various multiple-family residential and office buildings, ranging from two (2) to seven (7) stories and construction of a 350 unit student-oriented housing, mixed-use development referred to as “*Jefferson Commons Fullerton Academic Village*”. The project is situated on 6.8 gross acres located at the northwest corner of Chapman Avenue and Commonwealth Avenue.

The project will include high-density residential student-oriented housing and retail uses in close proximity to five (5) higher education schools and universities. *Jefferson Commons* will be comprised include 350 student apartments, recreation centers, a business center, leasing and management offices, open space areas, neighborhood-serving retail uses, as well as the necessary infrastructure (i.e., streets, utilities, etc.). The multi-story development will consist of four (4) stories of student apartments and retail to be wrapped around an eight (8) level parking

structure. The proposed project would result in a total of 471,251 square feet of residential uses (including parking), 30,889 square feet of retail space and 87,580 square feet of total open space area.

The project site is a rectangularly-shaped parcel with a linear street frontage along Chapman Avenue and Commonwealth Avenue. The building’s location, orientation and design integrate with the size and shape of the parcel. The site plan provides landscaping throughout the site to include usable amenities such as pools, athletic facilities, study courts, and passive recreational gathering spaces. Main ingress and egress will be provided along Chapman Avenue and East College Place at the central portion of the site. A service entrance will be provided from Commonwealth Avenue. The parking structure is located at the core of the building and contains 1,313 (1,189 residential at a ratio of one space per bed and 124) on-site parking spaces. Retail deliveries and services will take place within the public streets in front of the retail shops. On-street parking will be provided to accommodate delivery vehicles. In addition, a secondary delivery location will be provided within the southeast portion of the parking garage. Directional signage will be provided.



Residential waste will be accommodated by trash chutes located on all four (4) floors. The chutes will empty into collection rooms with (3) dumpsters in each room. Management will switch out the dumpsters under the trash chutes in the collection rooms when necessary.

The commercial areas on the ground floor have a separate, conventional trash enclosure with four (4) full-sized dumpsters. It is located at the southeast corner of the garage, adjacent to the service yard. The project would have “pull-out” service, whereby a small truck would remove the dumpsters from the building. Depending on the number of dumpsters, they would either be taken directly to a waiting trash truck or staged for later pick-up. Staging shall not occur on the Chapman or Commonwealth street frontages.

The project’s residential units are summarized in Table 2 on page 4.10. As shown in Table 2, the floor plans would include one-, two-, three- and four-bedroom units ranging in size from 498 to 1,252 square feet. All units would have private balconies. Exhibit No. 4.5 depicts the proposed site plan. Exhibit No. 4.6 provides a cross-section of the

building interior. Conceptual floor plans of the residential units are provided in Appendix A.

The project will include water, sewer, drainage, curb and gutter and sidewalk improvements along with the installation of street trees and other project amenities.

4.2 Land Use Summary

A. Land Use Policy

As previously mentioned (Chapter 2.0, Introduction, Section 2.2 C), a General Plan Amendment and Zone Change will occur to accommodate and effectuate the *Jefferson Commons* Specific Plan. The existing General Plan land use designations of High Density Residential and Office Professional will be changed to High Density Residential to accommodate the density (du/acre) and mixed use nature of the project. *Refer to Exhibits 4.1 and 4.2, Existing General Plan Land Use and Proposed General Plan Land Use.*



Jefferson Commons Specific Plan will be adopted as the zoning for the property, modifying the existing zoning classifications to Specific Plan District (SPD). Upon adoption as the zoning for the property, the *Jefferson Commons* Specific Plan sets the standards and criteria by which development will proceed, and refines the policies contained in the City of Fullerton General Plan. The Specific Plan includes detailed regulations, standards and guidelines necessary for the implementation of the General Plan, and also includes new zoning standards for the property, comprised of site-specific Permitted Uses and Development Standards. The Specific Plan District (SPD) allows for provision of the student-oriented housing, mixed use development and establishes the type, location, intensity, and character of development to take place while allowing for creative and imaginative design concepts for the project. Refer to Exhibit **Nos. 4.3** and **4.4, Existing Zoning** and **Proposed Zoning**.

B. Project Land Use Attributes

Jefferson Commons proposes the following elements:

- Removal of the existing multiple-family residential and office buildings;
- Improvement/redevelopment of the site by constructing a 350-unit student-oriented housing, mixed-use building;
- Provision of an eight (8) level parking garage to accommodate residents and retail visitors;
- Construction of a minimum 8-foot wide public sidewalk along the retail frontages of Chapman Avenue, East College Place and Commonwealth Avenue to be combined with a 10-foot building setback in a decorative hardscape and landscape design to highlight the entrance to the university area;
- Implementation of an attractive ground level retail edge with an enhanced pedestrian experience;



- Improvement of landscaping along Commonwealth Avenue and Chapman Avenue at a pedestrian scale;
- Installation of landscaping along East College Place and creation of a landscaped plaza to be used as a gathering place and destination for students using the pedestrian path from Hope International University to California State University, Fullerton and beyond.
- Improvement to the site drainage in accordance with City approved hydrologic and hydraulic calculations.

C. Compatibility Analysis

The *Jefferson Commons* project site is designed as a mixed-use development. The land use designations and development standards have been modified to accommodate the design of the project and its intended use. Policy modifications for the site include changing the land use from High

Density Residential and Office Professional to High Density Residential. Characteristics of the site and proposed use provide justification for modified land use policy based on the following factors:

Transitional Use

The location of the project is within an area experiencing a transition in land use. The site is in close proximity to five (5) higher education schools and universities. Specifically, the project will be directly adjacent to Hope International University and California State University, Fullerton. This prominent location lends itself to becoming the gateway to a student-oriented housing district. As vehicles exit the 57 Freeway and travel west on Chapman Avenue, a distinct landmark will signify the entrance to a link of several educational institutions encompassing the Fullerton Educational District. This transition of land use and incorporation of an appropriate architectural style will revive the streetscape and set the tone of an Education District.

Residential Density



The *Jefferson Commons* project is a residential facility oriented towards students that will be located within walking distance to Hope International University and California State University, Fullerton. The density of the project is 51.5 ~~53~~ dwelling units per acre. Refer to *Table 1, Land Use Summary* for density calculations.

The project density is also consistent with surrounding R-3 and R-5 zoning to the northwest, north and east as well as with the High Density Residential land use designations of surrounding properties.

Parking Demand

The residential parking demand was projected based upon an analysis of vehicular ownership for the anticipated predominant residential profile of students attending Hope International University and California State University, Fullerton. This yielded a parking demand of 0.85 spaces per bed. However, the specific plan proposes a 1:1 bed to parking space ratio. The required retail and

residential parking is based upon the parking ratio governed by City code.

Access

Access to the site will be provided by one (1) driveway from Chapman Avenue (with right-in and right-out turning movements) and one (1) full access driveway from East College Place. Limited access will be provided at an entrance along Commonwealth Avenue in order to reduce any potential traffic impacts to the intersection. The Commonwealth entrance will mainly serve as the service entrance for the retail component of the project.

Due to the nature of the use, its location in the community and its operational characteristics, the new land use designations and development standards will provide the necessary policy modifications to accommodate this unique development so that it is compatible with adjacent land uses.



EXHIBIT 4.1 – Existing General Plan Land Use

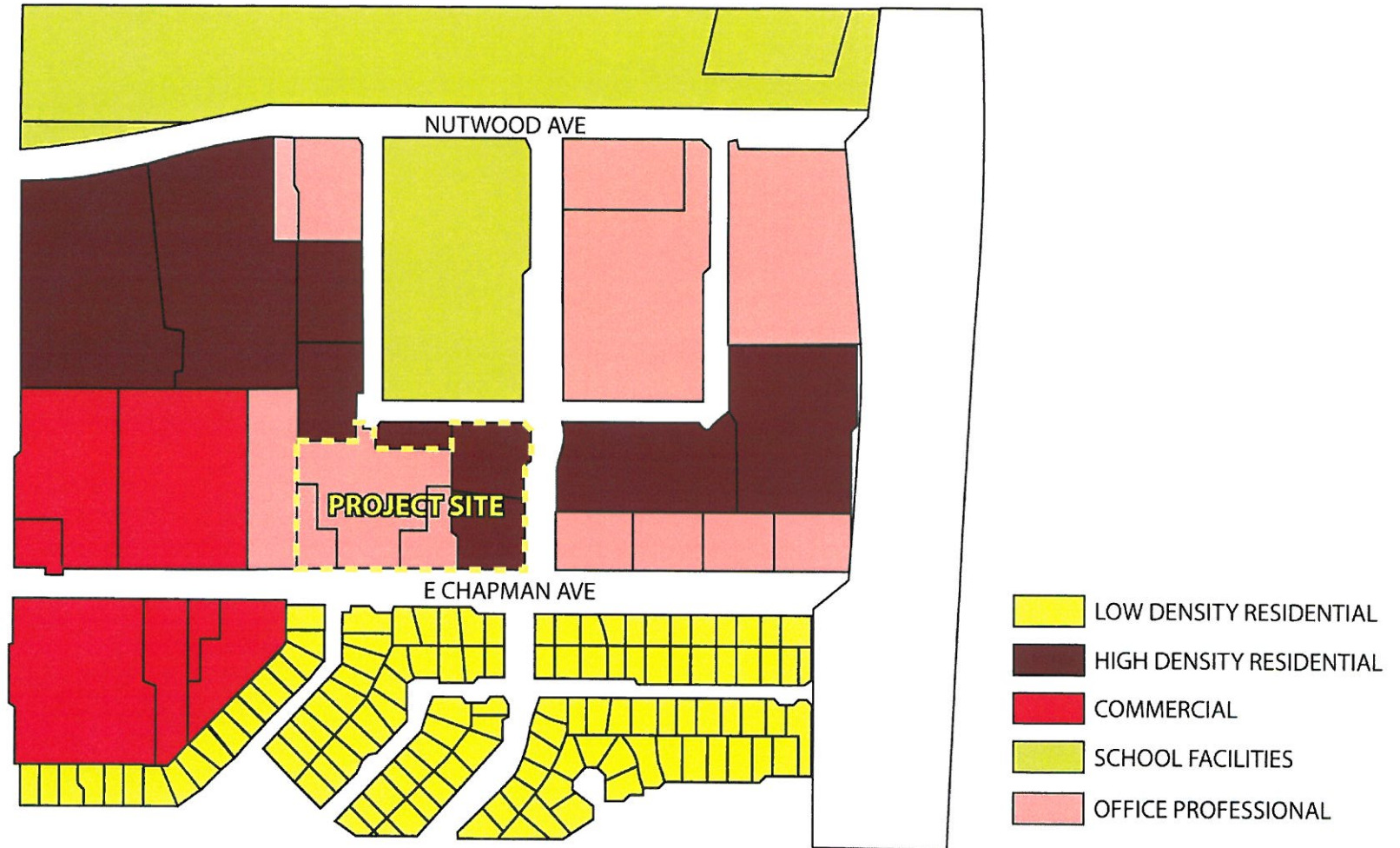




EXHIBIT 4.2 - Proposed General Plan Land Use

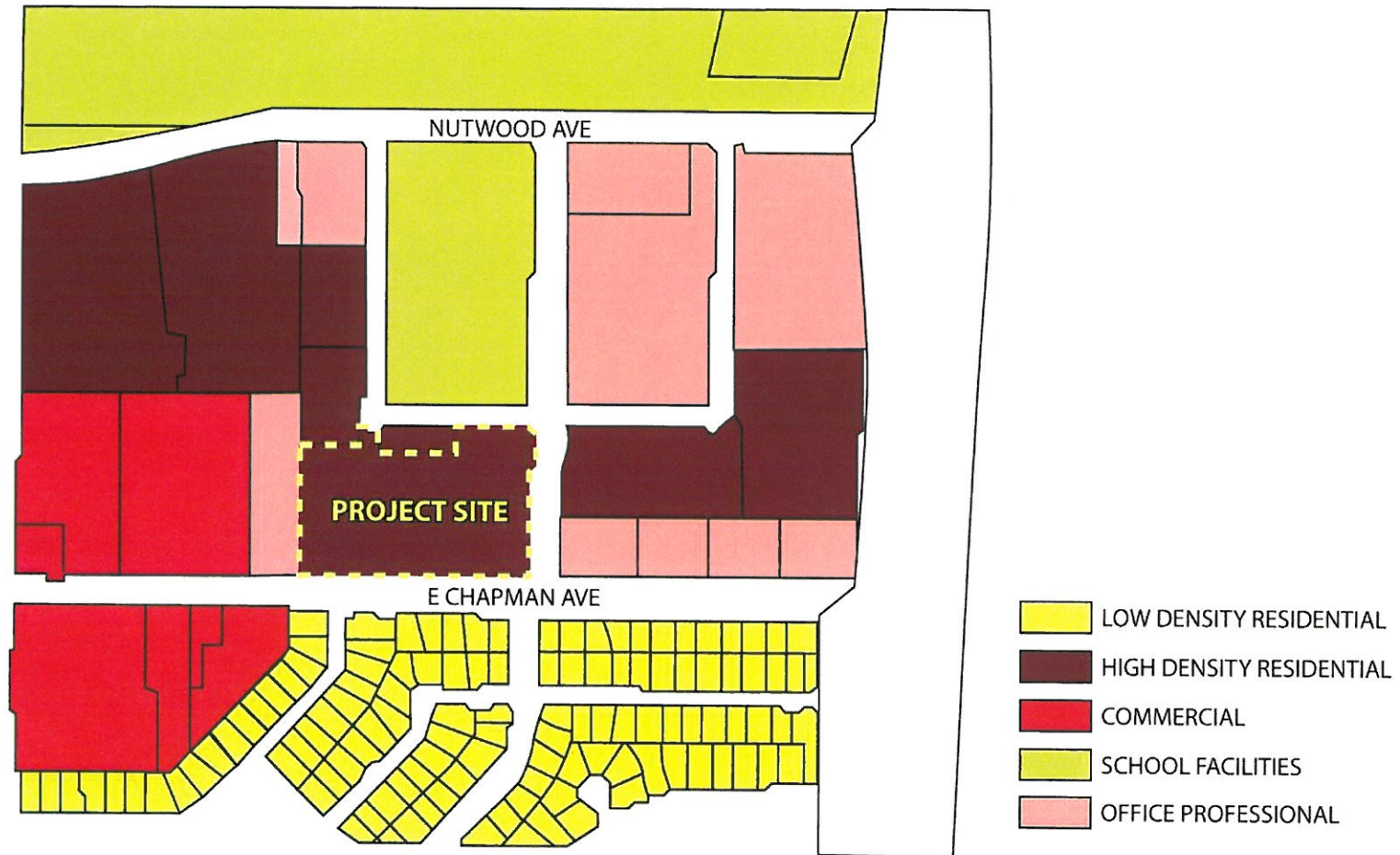
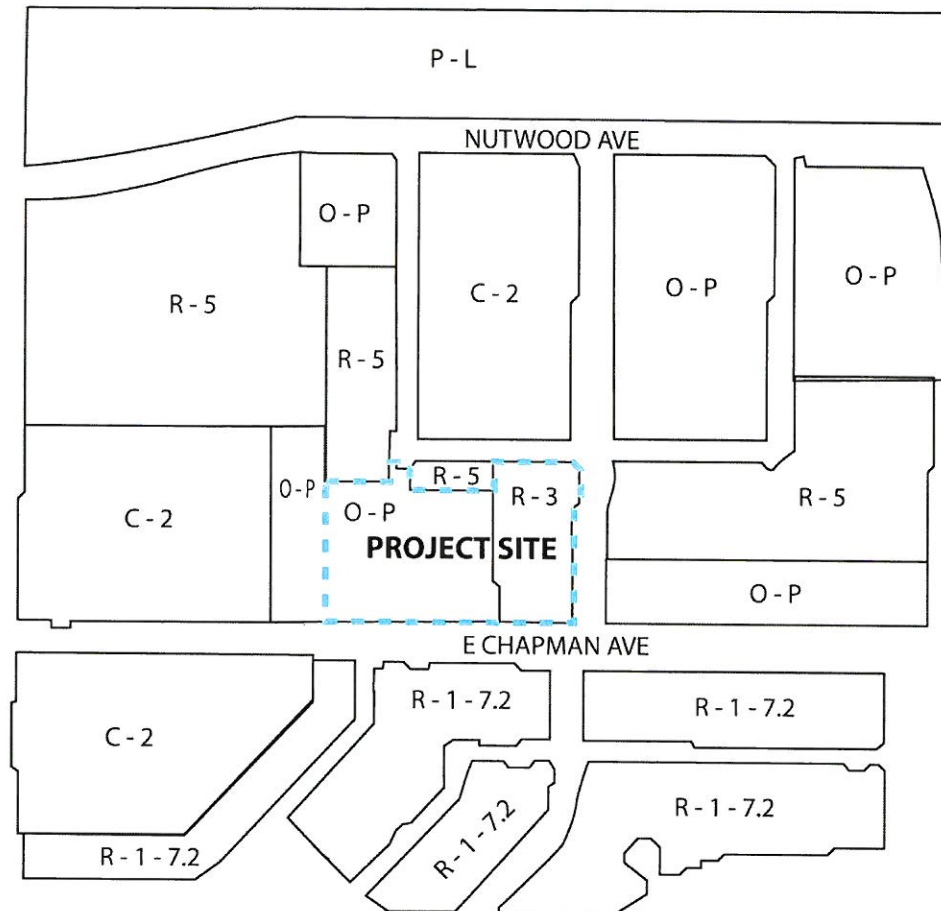




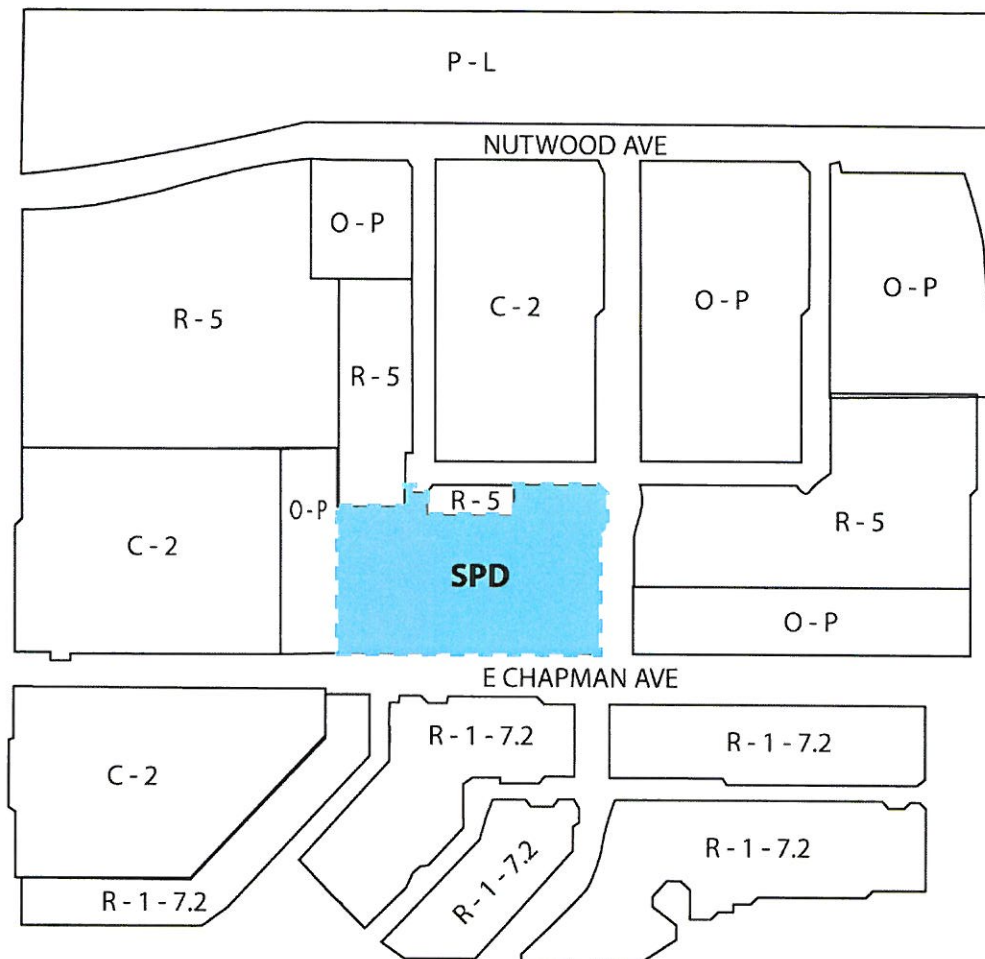
EXHIBIT 4.3 – Existing Zoning



- | | |
|-----|---------------------------------------|
| C-2 | GENERAL COMMERCIAL |
| O-P | OFFICE PROFESSIONAL |
| P-L | PUBLIC LAND |
| R-1 | ONE - FAMILY RESIDENTIAL |
| R-3 | LIMITED DENSITY, MULTIPLE RESIDENTIAL |
| R-5 | MAXIMUM DENSITY, MULTIPLE RESIDENTIAL |



EXHIBIT 4.4 – Proposed Zoning



C - 2	GENERAL COMMERCIAL
O - P	OFFICE PROFESSIONAL
P - L	PUBLIC LAND
R - 1	ONE - FAMILY RESIDENTIAL
R - 3	LIMITED DENSITY, MULTIPLE RESIDENTIAL
R - 5	MAXIMUM DENSITY, MULTIPLE RESIDENTIAL
SPD	SPECIFIC PLAN DISTRICT



The *Jefferson Commons* project data is summarized in *Table 1, Land Use Summary*.

TABLE 1 – Land Use Summary

PROJECT CATEGORY	PROJECT DATA	SPECIFIC PLAN STANDARD
SITE AREA	296,013 SF (6.8 ACRES)	N/A
LOT COVERAGEⁱ (BUILDING FOOTPRINT INCLUDING GARAGE AREA AND DRIVEWAYS ÷ GROSS SITE AREA):	208,433 SF 296,013 (6.8 ACRES)= 70%	NOT TO EXCEED 75 %
GARAGE AREA:	61,468 SF	61,468 SF (PER PROJECT PLAN)
FLOOR AREA RATIO (FAR): (BUILDING AREA ÷ GROSS SITE AREA):	540,613 SF 296,013 SF = FAR 1.83	NOT TO EXCEED 2.00
DENSITY (DU/GROSS ACRE):ⁱⁱ	51.5 DU/ACRE	55 DU/ACRE
BUILDING HEIGHT FROM NATURAL GRADE:	50' TO 70'	NOT TO EXCEED 74 FEET
PARKING:	1189 RESIDENTIAL SPACES 124 RETAIL SPACES 1313 TOTAL	1 SPACE PER BED 4/1000 RETAIL
PARKING STALL SIZE:	8.5'x 18'	8.5'x 18'
USEABLE OUTDOOR PUBLIC OPEN SPACE	54,059 SF 18%	18% (PER PROJECT PLAN)
USEABLE INDOOR OPEN SPACE:	9,619 SF 3%	3% (PER PROJECT PLAN)

TABLE 2 – Unit Distribution

RESIDENTIAL UNITS					
UNIT TYPE	SQUARE FEET (PER UNIT)	# BEDROOMS/ BATHS	# BEDS (PER UNIT)	# UNITS	TOTAL # BEDS
A1	498	1 BD./ 1 BA.	1	41	41
A2	814	1 BD./ 2 BA.	2	14	28
B2	759	2 BD./ 2 BA.	2	14	28
B3	994	2 BD./ 2 BA.	4	67	268
B3B	1072	2 BD./ 2 BA.	4	6	24
C1	961	3 BD./ 3 BA.	3	29	87
C2	1031	3 BD./ 3 BA.	3	3	9
D1	1151	4 BD./ 2 BA.	4	31	148
D2	1180	4 BD./ 4 BA.	4	111	444
D2C	1208	4 BD./ 4 BA.	4	9	36
D2E	1252	4 BD./ 4 BA.	4	17	68
E1	1194	4 BD./ 4 BA.	4	12	48
TOTAL				350	1189

- i. Lot coverage is Building Footprint divided by Gross Site Area.
- ii. FAR does not include parking structure or outdoor courtyards.
- iii. Total open space calculation does not include private balconies.



4.3 Site Planning and Design

The Site Plan for the *Jefferson Commons* Specific Plan provides for the development of a mixed-use, student-oriented housing complex. The Site Plan responds to the goals of the General Plan, environmental considerations and compatibility with surrounding land uses, and the objective to provide a high quality mixed-use development that well serves the community. Refer to ***Exhibit 4.5, Conceptual Site Plan***.

Site planning considerations include the following:

- **Building Setbacks** – Building setbacks will be provided from each interior property line and from Chapman Avenue, East College Place and Commonwealth Avenue in order to create a buffer between adjacent properties and a pleasant pedestrian experience along the street frontages. The project is designed with large landscaped courtyards adding visual interest and articulating the building mass along Chapman Avenue.
- **Landscaping** – The conceptual landscape plan shows a combination of mature trees, shrubs, ground cover and flowers. Plans also indicate hardscape treatment that combines the private and public realm along the street frontages while differentiating between the private spaces interior to the project. The plan incorporates a large landscaped plaza near the terminus of East College Place that will serve as a destination point for pedestrians traveling to and from the universities.
- **Buffering of the site** – Buffering of the site from adjacent uses is primarily accomplished through the combination of building articulation, landscaped setbacks and decorative wrought iron fencing and secure entrances at the ground level.
- **Design related to prevailing development features and mixed-use character** – The architectural style of the building is contemporary, which is appropriate for the mix of uses and location. The architecture is characterized by the design itself and materials used such as stucco, pipe columns,



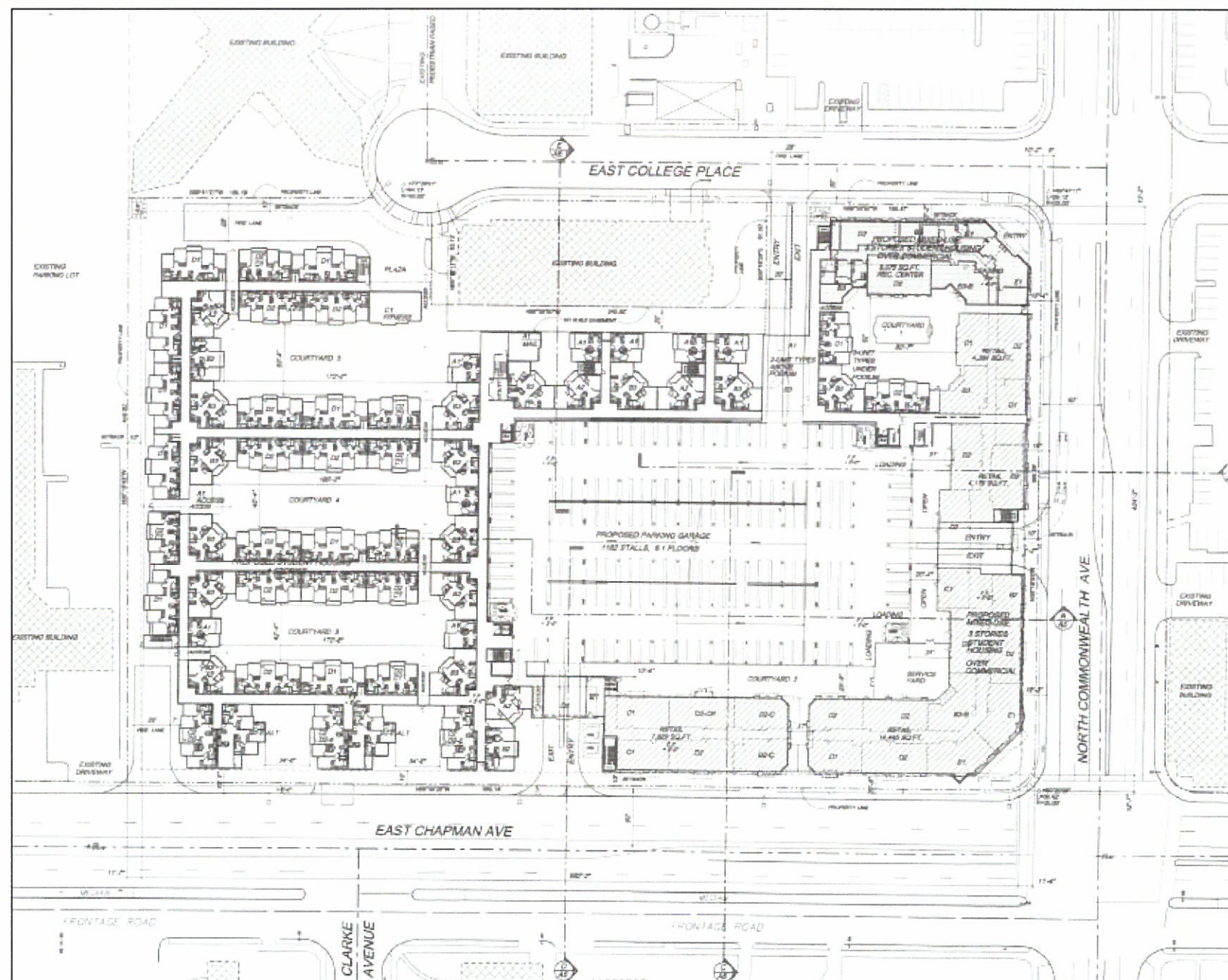
metal canopies, and metal siding. The building will have a parapet roof, appropriately styled window frames and balconies and a variation of colors and large landscaped courtyards that break up the scale of the building. The building architecture is intended to set a distinct tone of an entrance to an educational district featuring elements from the surrounding universities. Chapter 5.0, *Design Guidelines*, provides a detailed description of the building architecture, elevations and materials.

A 10-foot, fully landscaped setback will be provided along the residential street frontage adjacent to Chapman Avenue.

- **Relationship to right-of-way** – A 10-foot building setback and 8-foot sidewalk will be provided along the retail portion of Chapman Avenue, East College Place and Commonwealth Avenue. Hardscape design will be utilized to combine the public and private realm to create a larger pedestrian paseo. Landscape planters and tree wells will be installed to soften the edge of the building and enhance the pedestrian experience.



EXHIBIT 4.5 Conceptual Site Plan





4.4 Circulation and Parking

The circulation concept for the project provides for an on-site circulation system including two (2) main entrances and a service entrance that connect with resident, visitor and retail parking located in the parking garage. Pedestrian walkways surround the building and a public sidewalk will be provided along the building frontages of Chapman and Commonwealth Avenue and East College Place.

A. Vehicular Circulation and Parking

As shown in **Exhibit 4.5**, a driveway along East College Place and Chapman Avenue will provide primary access to *Jefferson Commons*. A third entry driveway is provided for purposes of service access only adjacent to Commonwealth Avenue. The Circulation Plan consists of the following components:

- **Chapman Avenue** is an existing east-west public roadway that borders the site to the south. It is designated as a major arterial by the City's Circulation Element and carries

both local and commuter traffic. Currently, Chapman Avenue has a right-of-way width of 50 feet to the centerline with two (2) traffic lanes in each direction. An 8-foot public sidewalk will be provided.

- **Commonwealth Avenue** is an existing north-south public roadway that borders the site to the east. It is designated as a major arterial by the City's Circulation Element and carries both local and commuter traffic. It has a right-of-way width of 50 feet to the centerline currently with two (2) traffic lanes in each direction. An 8-foot public sidewalk will be provided.
- **East College Place** is an existing east-west public roadway that borders the site to the north and terminates in a cul de sac with a 50 foot turning radius. It is designated as a local street by the City's Circulation Element and carries local traffic. It has a right-of-way width of 30 feet to the centerline with 1 traffic lane in each direction. A minimum 8-foot public sidewalk will be provided.



- **Conceptual Public Right of Way** improvements include construction of a minimum 8-foot wide public sidewalk with appropriate street trees along Chapman and Commonwealth Avenues and East College Place. As discussed above, improvements in the public right-of-way are to be coordinated with the hardscape and landscape treatment along the street frontages to create a thematic gateway to the project and future City-sponsored planning efforts in this greater university area. Please refer to **Exhibit 5.3, Conceptual Landscape Plan and Exhibit 5.4, Conceptual Landscape Cross-Sections** for details on the proposed landscape theme for the street frontages.

B. Internal Circulation and Parking

Two (2) primary public access points and one (1) secondary service access point to the *Jefferson Commons* will be provided. The primary public access, or main entry driveways, are 30-feet in width and allow two-way access to the parking structure. The

main entrances shall provide enhanced driveway paving, a parking directional sign and a vehicular stop sign for egress that will encourage slowing of vehicular traffic and enhance pedestrian safety. 1,189 residential parking spaces (at 1 space per bed) and 124 retail spaces are provided. *Jefferson Commons'* management will implement an aggressive parking management plan to ensure that on-site parking is used in an efficient manner. The resident spaces will be gated and students will be issued parking permits. The retail parking will be posted with signs limiting the duration a vehicle can be parked in a stall. A limited number of temporary guest parking permits will be issued and restricted to hours when the demand for retail spaces is low. Violations of the parking policies will result in the violating vehicle being "booted" and/or towed. JPI has experience nationwide with implementing parking management plans and will work closely with the City to prevent parking issues from occurring. Fire access is provided by two (2) 28-foot driveways located at the northwest and southwest portions of the site. At the main entry driveways, enhanced driveway paving and entrance



monumentation will be installed to reduce vehicular speeds to promote pedestrian safety. The secondary access drive (eastern entry) is a service entrance; appropriate identification as service access only will be provided at this entry.

The majority of parking spaces on the ground level and all of the spaces on the basement level will be dedicated for retail customers, employees and guests.

C. Pedestrian Circulation

Pedestrian improvements include the addition minimum 8-foot wide public sidewalk along Chapman and Commonwealth Avenues. The setback and sidewalk areas next to these street will also be enhanced with street trees, enhanced paving materials, benches and other features to energize the street edge.

Interior pedestrian amenities proposed as part of the Specific Plan include a system of enhanced pedestrian walkways, sitting areas, and enriched and attractive landscaping and outdoor recreational areas. A large

landscaped pedestrian plaza is also proposed adjacent to the terminus of East College Place. Refer to **Exhibit 5.3, Conceptual Landscape Plan.**

4.5 Infrastructure

A. Conceptual Water Facilities

Existing Water Facilities

Water service for the *Jefferson Commons* project will be provided by the City of Fullerton.

The existing water system adjacent to the project site consists of a 6-inch water distribution main located south of the project site in Chapman Avenue; a 6-inch water main north of the project in College Place and an 8-inch main east of the site in Commonwealth Avenue. The location of existing water facilities are shown in **Exhibit**

4.8, Conceptual Water Facilities Improvements Plan.



Conceptual Water Facilities Improvements

The existing water transmission pipelines are proposed to be retained as part of the *Jefferson Commons* Specific Plan with an upgrade to the Chapman Avenue water main from 6 inches to 8 inches, if required.

Four (4) existing fire hydrants will continue serving the project. Two (2) public fire hydrants will be accessible from East College Place. One from Commonwealth and one from Chapman are also available. The four (4) corners of the project site are served by the existing fire hydrants. The location of public fire hydrants is shown in **Exhibit 4.6, Conceptual Water Facilities Improvements Plan.**

Final size and design requirements will be determined by the City during final design of the project. All proposed water facilities improvements will be designed per the requirements and standards of the City of Fullerton.

B. Conceptual Sewer Facilities

Sewer service for the *Jefferson Commons* Specific Plan will be provided by the City of Fullerton.

Existing Sewer Facilities

The existing sewer system consists of an 8-inch vitrified concrete transmission pipe located within East Chapman Avenue. The existing sewer pipeline is approximately 8 to 10 feet in depth. The location of existing sewer facilities is shown in **Exhibit 4.7, Conceptual Sewer Facilities Improvements Plan.**

Conceptual Sewer Facilities Improvements

Conceptual sewer facilities improvements for the *Jefferson Commons* Specific Plan include provision of a 6-inch sewer lateral connecting with the existing 8-inch transmission line in East Chapman Avenue. The connection point will be located in the southern portion of the project site. The location of sewer facilities improvements is shown in **Exhibit 4.7,**



Conceptual Sewer Facilities Improvements Plan.

Final size and design requirements will be determined by a Sewer Study to be prepared during the final design of the project. All lines will be designed per the requirements and standards of the City of Fullerton. A grease interceptor and proper venting will be installed within the retail portion of the project as required by City Building Division.

C. Conceptual Stormdrain/Hydrology Facilities

Existing Stormdrain/Hydrology Facilities

Surface water runoff from the project site drains toward existing storm water drain inlets located within the parking lots, driveways, and landscaped areas; it then enters the municipal storm drain located in the south side of Chapman Avenue. The location of existing stormdrain facilities is shown in ***Exhibit 4.8, Conceptual***

Stormdrain/Hydrology Facilities Improvements Plan.

Conceptual Stormdrain/Hydrology Facilities Improvements

The proposed project would also be designed to drain into the existing City storm drain in Chapman Avenue. The project is conceptually designed to capture and treat the “first flush” runoff from the site (first 0.75" of rainfall). before discharging to the City's storm drain on the southern side of Chapman Avenue.

As with existing conditions, following completion of project construction, the project site would contain primarily impervious surfaces. The proposed project would include five separate on-site courtyards with the residential/commercial uses wrapped around these open areas. These landscaped areas would increase the amount of pervious area; however, given the size of the site, it would not substantially alter or reduce the amount or rate of runoff. The proposed project would not result in flooding on or off the site. There would not be exposed soil after construction and the



proposed project would not result in a substantial increase in the amount of erosion or sedimentation after construction is complete (potential erosion during construction is discussed above).

The location of storm drain facilities improvements are shown in ***Exhibit 4.8, Conceptual Stormdrain / Hydrology Improvements Plan.***

Final design requirements will be determined during the final design of the project. All assessments and technical analyses for the *Jefferson Commons* project drainage will be conducted in compliance with local drainage policies as deemed appropriate. The proposed on-site drainage facilities will be installed and maintained by the developer. In addition, a construction Storm Water Pollution Prevention Plan (SWPPP) will be prepared and a Notice of Intent (NOI) will be submitted prior to the commencement of construction.

EXHIBIT 4.6 – Conceptual Water Facilities Improvements Plan

* Conceptual site plans are subject to final approval from the city of Fullerton's Public Works Department.

DOMESTIC WATER INSTALLATION NOTES

- ① INSTALL 4-INCH PVC DOMESTIC WATER SERVICE.
- ② INSTALL 4-INCH PVC FIRE WATER SERVICE.
- ③ INSTALL 4-INCH DUCTILE IRON DOMESTIC WATER SERVICE AND FITTINGS.
- ④ INSTALL 4-INCH DUCTILE IRON FIRE WATER SERVICE AND FITTINGS.
- ⑤ INSTALL FIRE HYDRANT ASSEMBLY AND INSTALL THRUST BLOCK.
- ⑥ INSTALL 4-INCH WATER METER ASSEMBLY.
- ⑦ INSTALL 4-INCH FEBCO 876V DOUBLE CHECK DETECTOR ASSEMBLY (DCCA) WITH SIAMESE FIRE DEPARTMENT CONNECTION (FDC) PER DETAIL THIS SHEET.
- ⑧ INSTALL 6-INCH X 22.5' BEND AND INSTALL THRUST BLOCK.
- ⑨ CONSTRUCT 6"x4" HOT TAP W/ TAPPING SLEEVE & 4" GATE VALVE AND INSTALL THRUST BLOCK.



FEBCO MODEL 876V
Double Check Detector
Outdoor Installation w/Siamese

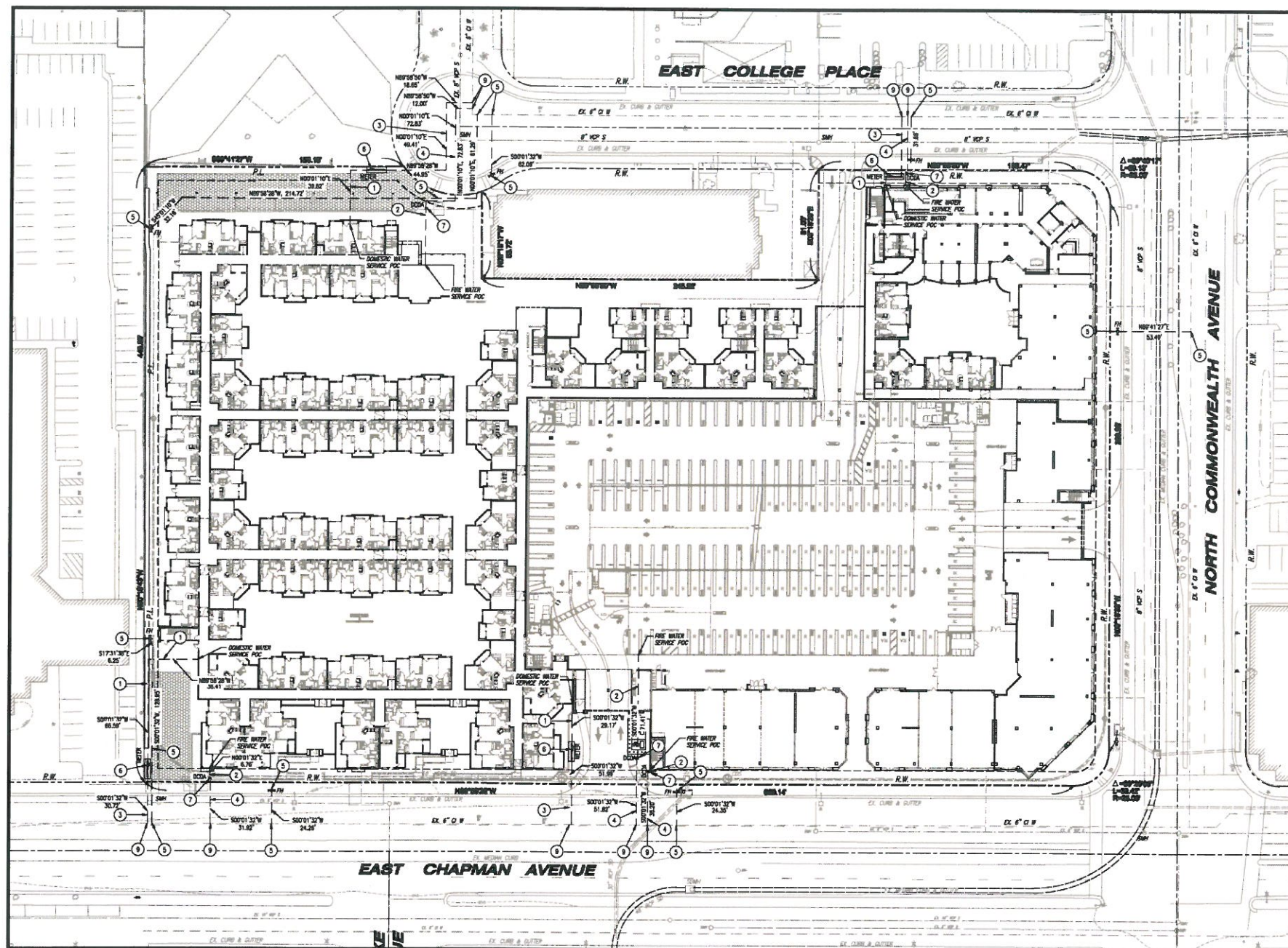
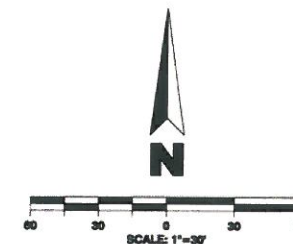




EXHIBIT 4.7 – Conceptual Sewer Facilities Improvements Plan

* Conceptual site plans are subject to final approval from
the city of Fullerton's Public Works Department.

SEWER CONSTRUCTION NOTES:

- ① PROVIDE, TRENCH AND INSTALL 8" VCP SEWER LATERAL
PER CITY OF FULLERTON STANDARD SPECIFICATIONS.
- ② PROVIDE AND INSTALL SEWER MANHOLE PER CITY OF
FULLERTON STANDARD PLANS 201 AND 204.
- ③ PROVIDE AND INSTALL 6-INCH VCP SEWER LATERAL PER
CITY OF FULLERTON STANDARD PLAN 208.
- ④ REMOVE/ABANDON EXISTING 8-INCH SEWER AND MANHOLES

SYMBOL LEGEND:

8" PVC SEWER, SDR 35
6" PVC SEWER, SDR 35
4" PVC SEWER, SDR 35
SEWER IN-LINE CLEANOUT
SEWER TERMINAL CLEANOUT
SEWER MANHOLE
CURVE DATA REFERENCE
SEWER ELEVATION (NEW)
SEWER CONSTRUCTION NOTE
EXIST. SEWER LINE
EXIST. WATER LINE
EXIST. STORM DRAIN

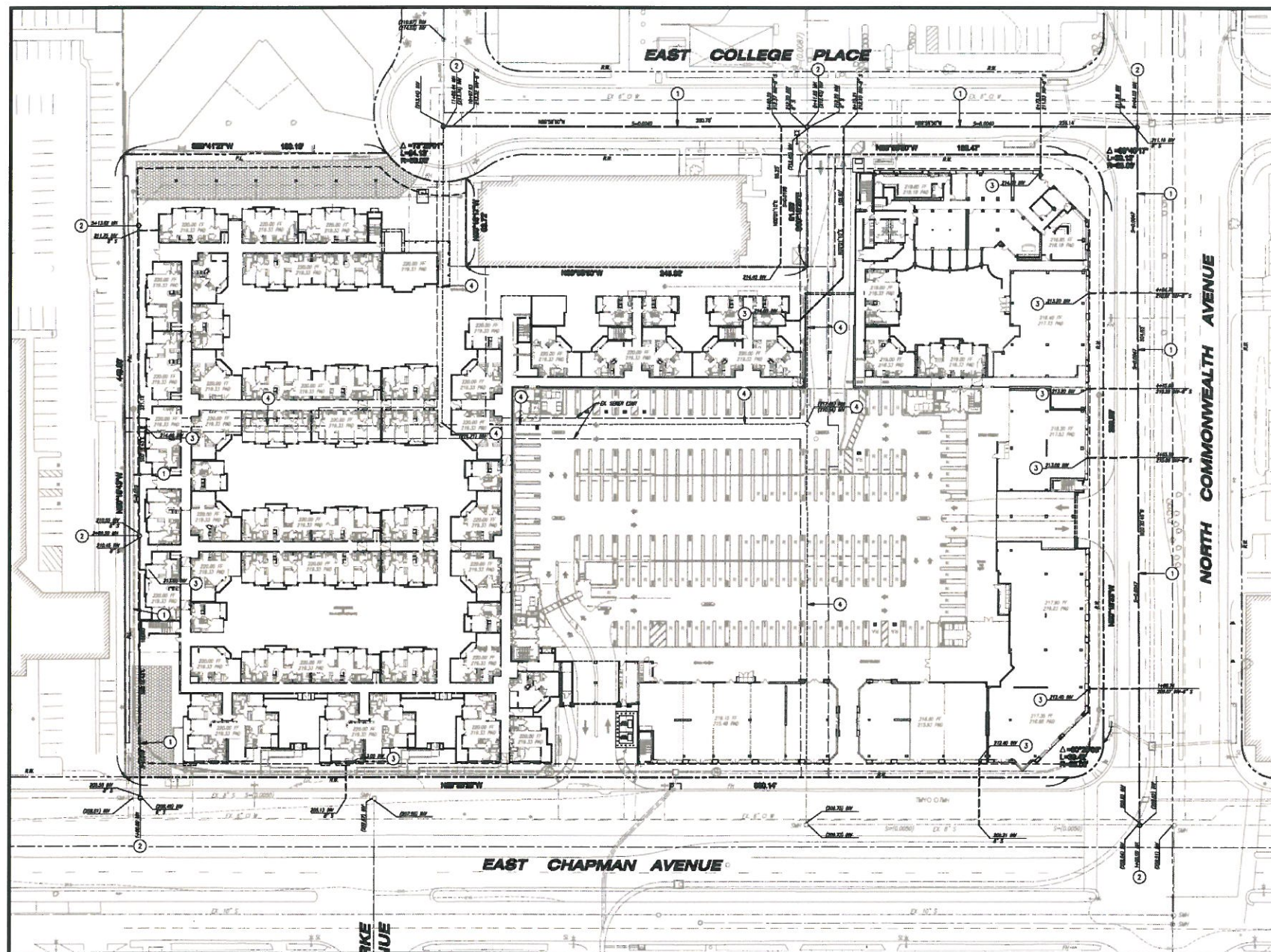
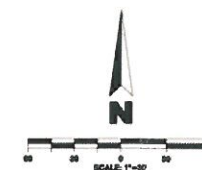




EXHIBIT 4.8 – Conceptual Stormdrain/Hydrology Improvements Plan

* Conceptual site plans are subject to final approval from the city of Fullerton's Public Works Department.

STORM DRAIN CONSTRUCTION NOTES:

- ① PROVIDE AND INSTALL 4" PVC (SDR 35) DRAINAGE PIPE
- ② PROVIDE AND INSTALL 6" PVC (SDR 35) DRAINAGE PIPE
- ③ PROVIDE AND INSTALL 8" PVC (SDR 35) DRAINAGE PIPE
- ④ PROVIDE AND INSTALL 10" PVC (SDR 35) DRAINAGE PIPE
- ⑤ CONSTRUCT 12" HDPE DRAINAGE PIPE
- ⑥ CONSTRUCT 18" HDPE DRAINAGE PIPE
- ⑦ CONSTRUCT 30" RCP (D-2000)
- ⑧ CONSTRUCT CLEANOUT
- ⑨ CONSTRUCT MH PER SPPWC STD PLAN 321-1
- ⑩ JOIN PROP ROOF DRAIN. SEE PLUMBING PLAN FOR CONTINUATION.
PROVIDE AND INSTALL ROOF DRAIN CLEANOUT
- ⑪ PROVIDE, TRENCH AND INSTALL PWSU 20.20 STORM WATER INTERCEPTOR
(CDS TECHNOLOGIES) PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS
- ⑫ REMOVE EXISTING DROP INLET AND 18-INCH RCP.
- ⑬ CONSTRUCT NEW CATCH BASIN





4.6 Public Services and Utilities

A. Police and Fire Protection Services

Fire Service – Fire protection is provided by the City of Fullerton Fire Department, which operates six stations in the City. Station #5, located at 2555 East Yorba Linda Boulevard is the closest (approximately 1.4 miles) station to provide services to the project site.

Police Service – The City of Fullerton Police Department located at 237 West Commonwealth Avenue will provide police protection for the project site.

B. Schools

Jefferson Commons is located within the Fullerton School District. Since the project is a university student-oriented housing project, elementary and high school enrollment is not anticipated to be impacted as a result of Specific Plan implementation.

However, in accordance with state law, the student-oriented housing use proposed on the site may be subject to school fees subject to a determination made by the school district.

C. Parks and Recreation

The City of Fullerton has 55 public parks, including 33 community parks, 9 specialized parks, 5 greenbelts, 2 nature preserves, 1 golf course, and 28 miles of recreational trails. The three parks listed below are all within one mile of the project site. Park acreage totals 683 acres. Based on a citywide population of approximately 138,000 persons, Fullerton currently provides approximately 5 acres of parkland for every 1,000 persons. The City's acre per population requirement is 4 acres per 1,000 persons. The project site is within walking distance (within one mile) of the following active recreation parks:

- Acacia Park
1910 Fullerton Creek Road
- Fullerton Creek Greenbelt



Fullerton Creek Road (adjacent to Acacia Park)

- Chapman Park
2515 San Carlos Drive

The *Jefferson Commons* project will be subject to payment of recreation impact fees as determined by City of Fullerton Community Service Department in addition to providing on-site recreational opportunities for residents.

D. Solid Waste

Solid Waste disposal in the City of Fullerton is provided by MG Disposal, which will also provide service to the *Jefferson Commons* project area. The City participates in a materials recovery recycling program, in which the project will participate.

E. Dry Utilities

Utilities will be provided by existing public utility companies that include Southern California Edison, SBC Pacific Bell, the

Southern California Gas Company, and Adelphia Cablevision.

Electricity

Southern California Edison (SCE) will service and maintain the project area's electrical facilities, which will be an extension of existing service lines adjacent to and within *Jefferson Commons*.

A will serve letter was received from Southern California Edison in May, 2006 indicating electrical service will be provided for the project.

Natural Gas

Natural gas is imported by the Southern California Gas Company from its interstate system. Existing gas lines are present along Chapman Avenue, providing connections to the site. Service connections will be provided and maintained as needed. A will serve letter was received from Southern California Gas Company in May, 2006 indicating natural gas service will be provided for the project.



Telephone

Telephone service and maintenance for the area is provided by SBC/ATT. Telephone facilities and will be located underground within the street rights-of-way. A will serve letter was received from SBC/ATT in May, 2006 indicating telephone facilities service will be provided for the project.

Cable TV

Cable TV service is provided by Adelphia Cablevision. Existing cable TV lines are present in Chapman Avenue. A will serve letter was received from Adelphia Cablevision in May, 2006 indicating cable service will be provided for the project.



JEFFERSON COMMONS
FULLERTON ACADEMIC VILLAGE



5.0 Design Guidelines



5.0 DESIGN GUIDELINES

5.1 Introduction

This section provides design guidelines, which establishes the overall design theme for the development of the *Jefferson Commons* Specific Plan. The design guidelines encourage the highest level of design quality and creativity.

The Design Guidelines contained in this section should be used as a guide when developing projects within the *Jefferson Commons* Specific Plan District. The City of Fullerton will utilize these guidelines to evaluate the project development. Guidelines for site planning, architecture, and landscape architecture are provided below.

5.2 Site Planning

- The arrangement of the building, parking and circulation areas should recognize the particular characteristics of the site and should relate to the surrounding built environment.

- Buffers from adjacent properties through the use of landscaping, setbacks and/or appropriate fencing should be encouraged.
- Pedestrian linkages (e.g., pedestrian walkways, landscape areas, gardens, outdoor common area, etc.) are encouraged.
- Loading and delivery service areas should be located and designed in a manner that reduces or eliminates circulation conflicts.

5.3 Architectural Design

A. Architectural Character

The architectural character for the *Jefferson Commons* Specific Plan is based on a contemporary style. This style is appropriate for retail and mixed use because it provides elements that can attract pedestrians and activate the street.



This particular style offers opportunities to differentiate wall planes and rooflines. The building elevations should include:

- ☐ Simple, box like shapes and geometrically pitched roofs.
- ☐ A corner element that acts as a gateway element to the project.
- ☐ Transparent views through the expansive retail storefronts.
- ☐ Generous entrances marked with canopies or other distinctive entry features that establish a pedestrian friendly atmosphere.
- ☐ Use of materials consistent with contemporary architecture at the ground floor that are uniquely suited to define a base for the project and a horizontal datum for the residential uses above.
- ☐ Implementation of street level features that receive the protruding volumes, pipe columns, and similar devices to enhance the pedestrian scale.

Given the project type and location, it was determined that a contemporary style is the appropriate choice for the architecture of the mixed-use building.

The building has a parapet roof, horizontal siding, pipe columns, metal panels and canopies. Building colors and vertical faces vary to enliven the elevation and form a rhythmic pattern. Exhibits 5.1 and 5.2, Building Elevations North and South and Building Elevations East and West—illustrate the building's general design and orientation at project build-out.

General Guidelines

- The architectural style should consider compatibility with surrounding development and draw elements from the surrounding universities.
- Building(s) should have articulation and projections with architectural elements and details.
- Recessed fenestration and simple door/window detailing should be incorporated at the building façade to reflect and complement the architectural style.



- The size and location of doors and windows should relate to the scale and proportions of the building elevation on which they are located.
- Design features should be fully articulated on all sides of the building.
- Design features should distinguish between the mix of uses while maintaining a connection throughout the project.

B. Orientation

- Building orientation should consider the site's characteristics; such as the property depth and wide street frontages and the proximity to nearby universities.
- Building orientation should facilitate and encourage pedestrian activity and accessibility to the retail uses.
- The element at the corner of Commonwealth Avenue and Chapman Avenue should act as

a gateway and establish a monument for this prominent corner.

- Buildings and main entrances should be oriented towards the street and sidewalk to establish a strong tie to the street frontage.

C. Massing

Building Massing

- Building(s) should be massed along Chapman Avenue, Commonwealth Avenue and East College Place and should provide for a pedestrian scaled development.
- Student amenities including walkways, courtyards, recreational areas, planters and gardens should occur throughout the project site. The use of open space should be encouraged.
- Building(s) should provide for a variety in massing, scale, setback and architectural treatments.



Window Treatment

- Architectural features should be incorporated into the building design to eliminate a box-like appearance. Varying rooflines and articulated building elevations should be incorporated into the building design to soften the scale and mass of the building.
 - The scale and mass of building(s) should be reduced through changes in horizontal plane, materials or color.
 - The building entry(s) should be clearly identifiable. Use of large overhangs, recess projections, columns and other distinctive materials and colors to articulate entries are encouraged.
- All windows should receive exterior trim as characterized by the contemporary style and be dual glazed. Windows should utilize clear, translucent glass and not use highly reflective material.

Exhibits 5.1 and 5.2, Building Elevations illustrate the general massing of the building at project build out.



EXHIBIT 5.1: Building Elevations – North and South



NORTH ELEVATION (EAST COLLEGE PLACE)



SOUTH ELEVATION - (EAST CHAPMAN AVE)



EXHIBIT 5.2: Building Elevations – East and West



EAST ELEVATION (NORTH COMMONWEALTH AVE.)



WEST ELEVATION

SECTION ELEV-C

SECTION ELEV-C
SECTION ELEV-C
SECTION ELEV-C



D. Color and Materials

- Building colors and materials should be of subtle natural tones with contrasting colors used for accents and details.
- Colors and materials should be consistently applied and should complement adjacent materials.
- Exterior materials and architectural details should be complementary and stylistically consistent.
- Material changes not occurring at changes in plane appear “tacked-on” and are strongly discouraged.
- Building materials should be durable and resistant to damage, defacing, and weathering. Appropriate building materials include concrete, stone, metal, stucco, glass and/or other similar composites. These materials may be used in any combination.

Please refer to Table 3, Suggested Materials.

TABLE 3 – Suggested Materials

Windows and doors:	Storefront commercial grade windows and doors at retail, tower element, and leasing center facade Residential doors and windows shall be of a color and material complementary and consistent with storefront window systems
Exterior Finishes:	Stucco with light sand finish with score lines Pre-cast concrete or/and stone at base of building at retail/leasing facade Concrete Masonry Units with concrete cap at residential retaining wall at Chapman Avenue 6 inch or 8 inch circular, painted pipe columns at tower kicker supports Metal canopy and metal canopy supports Decorative painted metal louvers at residential decks Painted metal railings at decks and fences Pre-cast foam trims, headers, sills at windows and trim banding with finish to match stucco
Roofing Material:	Built-up roofing at flat roofs with pre-fabricated, formed and painted metal edge coping at fascias



E. Screening/Mechanical Equipment

- Roof mounted equipment should not be visible from adjacent buildings at-grade. Rooftop equipment should be screened from view of public streets and nearby buildings on all sides with landscaping and/or architectural elements, including horizontally installed louvered screens on top of equipment wells, creating the illusion of a solid horizontal roof cover.
- Equipment screening should be compatible with the architecture, materials and colors of the building.

- Contribute to the enhancement of community character.
- Create a landscaped environment that enhances the pedestrian experience along the street frontages.
- Design outdoor recreational areas that encourage student activity and social interaction.
- Provide a plant palette that is sensitive to the Fullerton environment and complements the existing landscape environment.
- Comply with City of Fullerton Municipal Code requirements.

5.4 Landscape Architecture Guidelines

This section contains the landscape design concepts, guidelines and special treatments for the implementation of landscaping within the *Jefferson Commons* Specific Plan area. The landscape design concepts and guidelines are intended to:

A. Landscape Concept Plan

The Landscape Concept Plan for the *Jefferson Commons* is illustrated in





Exhibit 5.3, Conceptual Landscape Plan

- A proposed mix of accent trees, shrubs, and groundcover has been carefully selected to complement the architectural design of the project and to identify circulation hierarchies and public spaces.
- Landscaping should enhance the quality of the project by framing and softening the appearance of buildings, screening undesirable views and buffering incompatible uses.
- All areas not covered by buildings, walkways, driveways, parking spaces, and service areas, should be landscaped.
- Landscaped areas should generally incorporate planting utilizing a three tiered system: 1) trees, 2) shrubs and vines, and 3) groundcover.
- Layered trees, shrubs, plants and decorative hardscape features complementary to the site and architectural style are encouraged.
- Planters and pots placed in building recesses and adjacent to blank walls are encouraged to provide visual interest. Planter and pot materials should complement the building architecture and should incorporate irrigation systems as required based on type of plant material. Drainage for all the planters and pots shall be controlled so as not to create "stains" on the building or decorative pavement, or to create standing water.
- Street trees with grates, benches and enhanced paving should be placed appropriately per City requirements to soften the street edge and create a pleasant walking environment.
- Landscaping should be placed so that it does not interfere with lighting or



restrict access to utilities or emergency apparatus.

- Landscaping should be complementary in scale with adjacent buildings and be of appropriate size at maturity.
- Textured paving materials suitable for use in pedestrian areas such as pedestrian walkways, the main entry driveway and courtyard areas.

The concept for the landscape design is to create outdoor spaces with elements that will encourage the residents to participate and use the common recreational areas.

- The parking structure shall not dominate the street frontage. The parking structure shall be substantially screened from public view by the retail and residential units. Entrances to the parking structure shall be architecturally enhanced.

B. Development Edge and Buffer Treatments

- Landscaping should be used to define edges, buffer adjacent properties and create a pleasant pedestrian experience along the street frontages.



EXHIBIT 5.3 – Conceptual Landscape Plan

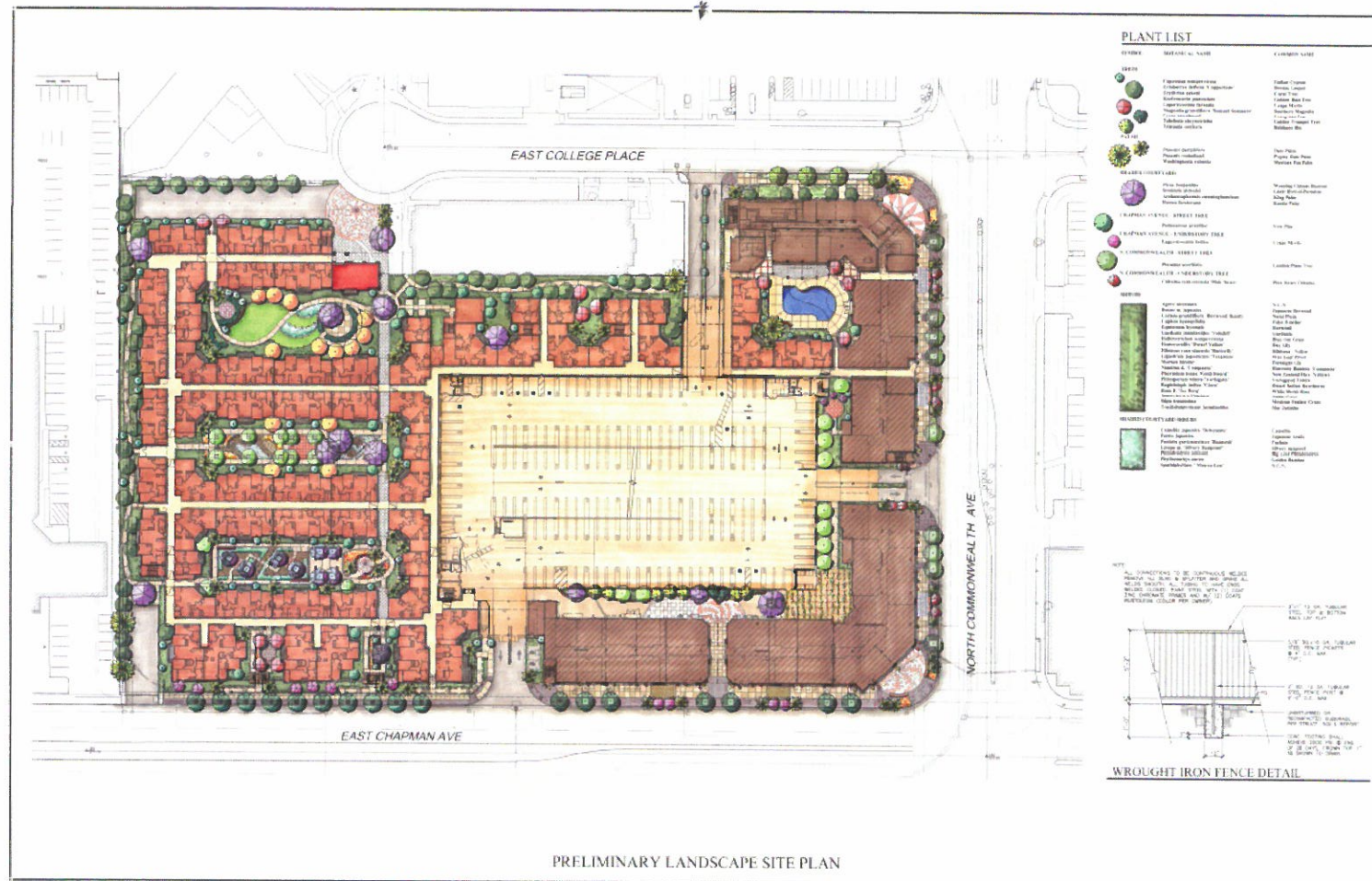
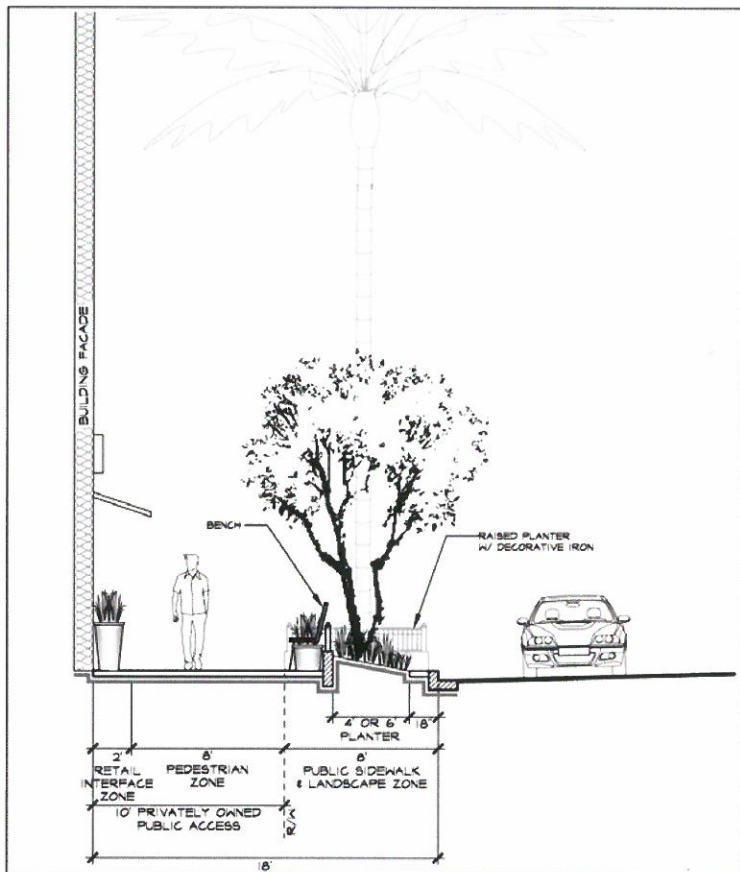




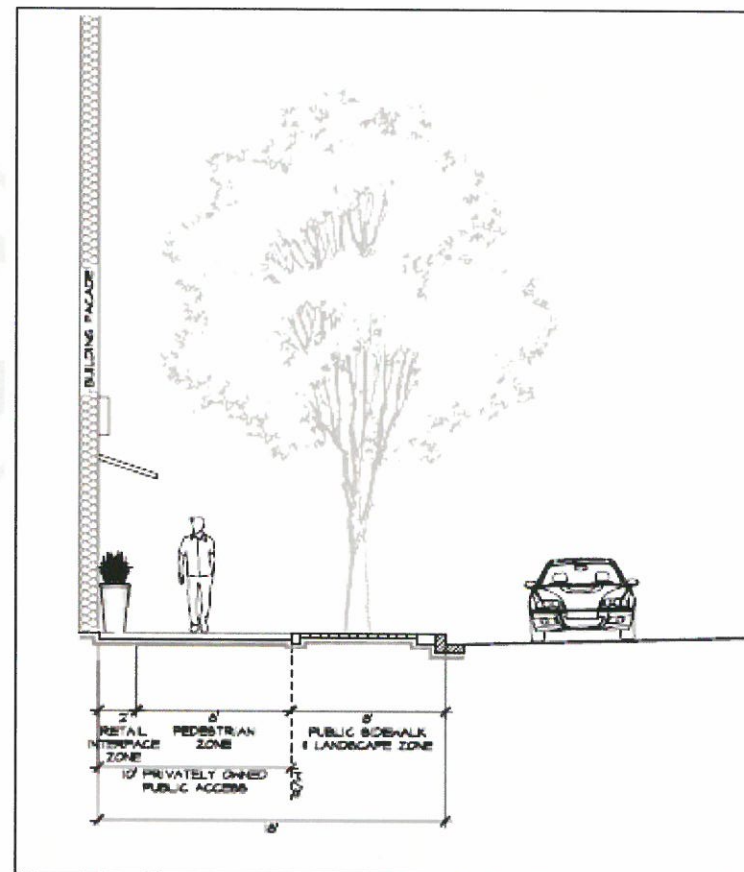
EXHIBIT 5.4 – Conceptual Landscape Cross-Section: Commonwealth Avenue



STREET SECTIONS - NOT TO SCALE

JEFFERSON COMMONS
FULLERTON ACADEMIC VILLAGE
CITY OF FULLERTON, CALIFORNIA

SECTION 'A' - NORTH COMMONWEALTH



STREET SECTIONS - NOT TO SCALE

JEFFERSON COMMONS
FULLERTON ACADEMIC VILLAGE
CITY OF FULLERTON, CALIFORNIA

SECTION 'B' - NORTH COMMONWEALTH





EXHIBIT 5.4 – Conceptual Landscape Cross-Section: Commonwealth Avenue

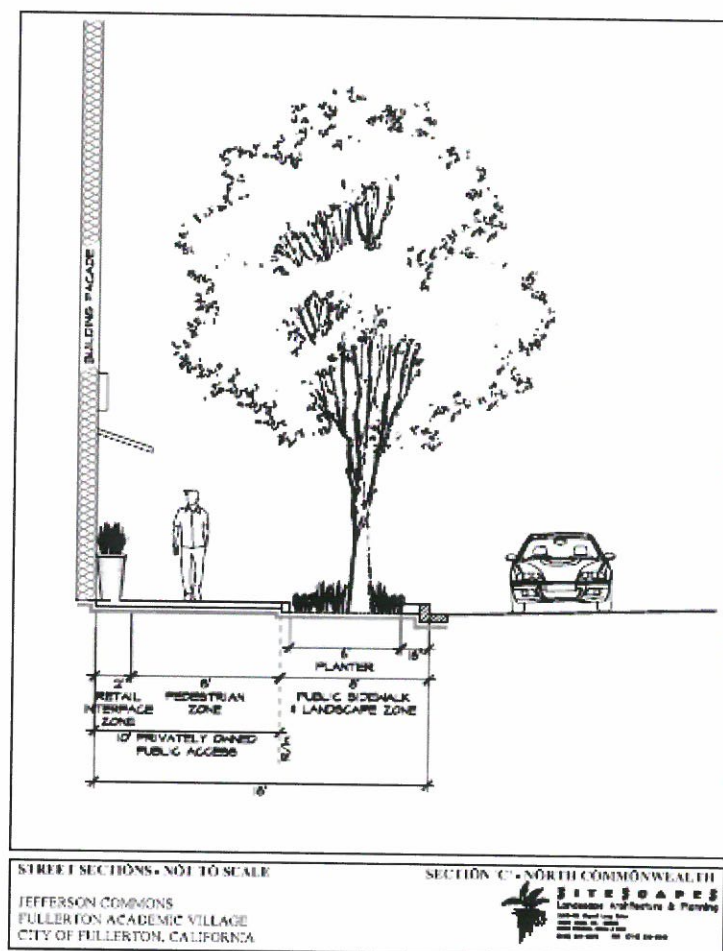
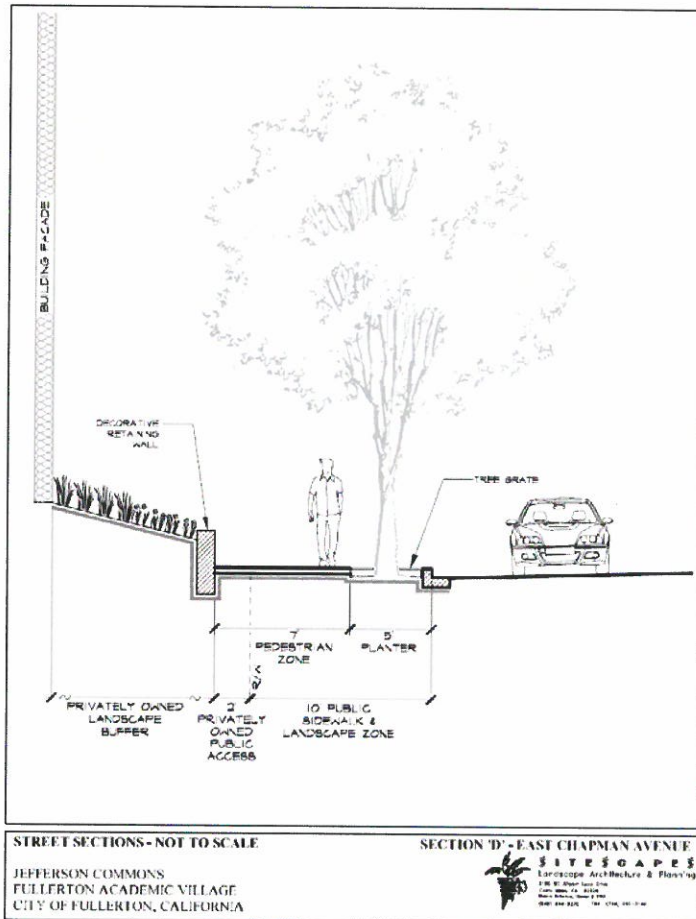




EXHIBIT 5.5 – Conceptual Landscape Cross-Section: Chapman Avenue





C. Entry Landscape Treatment and Monumentation

- Pedestrian and vehicular entry areas should be enhanced with ornamental landscaping, decorative paving, and monument signage, where applicable.
- Entry monumentation should be appropriately scaled and complementary to the landscape and architectural design of the building.

D. Signs

- A Sign Program will be prepared for the project prior to issuance of building permits and will establish guidelines for on-site directional, retail tenant and other miscellaneous on-site signs. The sign program will be developed using the following criteria:
- The location, size, height, design, and lighting of signs should be compatible with the use of

the property and the surrounding neighborhood.

- Signs should be constructed of high quality, durable materials.
- Sign design and sign copy should be complementary with the contemporary architectural design of the project site.
- Project identity should be provided at the primary access points at Chapman Avenue and East College Place.
- Site ingress/egress and delivery locations should be clearly identified with directional signage.

E. Streetscape

- Exhibit 5.3, Conceptual Landscape Plan, illustrates the landscaping along Chapman Avenue, Commonwealth Avenue East College Place and within the interior courtyard areas.



- Chapman Avenue, Commonwealth Avenue and East College Place streetscapes include wide public sidewalks with enhanced paving, street furniture and a hierarchy of trees, shrubs and ground cover to accent and soften the building edge.
- New streetscape improvements should be complementary in design, scale and palette with existing streetscape elements.
- Street trees should not be placed in a manner that obstructs pedestrian or recreational movement, or visually obstructs entryways and signs.

F. Lighting Design

- Site lighting should not create glare nor be obtrusive to adjacent properties.
- Lighting fixtures should be contemporary to complement the architectural design of the building.

- Appropriate lighting should be used at entries, plazas, courtyards, parking structure, pedestrian walkways, and other areas utilized by pedestrians.

G. Wall and Fence Guidelines

- Wall and fence design should complement the project's architecture. Landscaping should be used to soften the appearance of wall surfaces.
- Walls should accommodate landscape treatment, signage, and architectural monumentation.



JEFFERSON COMMONS
FULLERTON ACADEMIC VILLAGE



6.0 Land Use Development Regulations



6.0 LAND USE AND DEVELOPMENT REGULATIONS

6.1 Purpose and Intent

This section has been prepared in accordance with California Government Code Section 65450, et seq. and Title 15 of the Fullerton Municipal Code. This section sets forth the standards for development of all uses within the *Jefferson Commons* Specific Plan. Application of these regulations is specifically intended to provide the most appropriate use of the land, create a harmonious relationship among nearby land uses and protect the health, safety and welfare of the community.

6.2 General Provisions

A. Applicability

The *Jefferson Commons* Specific Plan shall constitute the legal zoning for the property.

Development plans or agreements, precise development plans or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan. Actions deemed to be consistent with the Specific Plan shall be judged to be consistent with the City of Fullerton General Plan, as mandated in California Government Code Section 65454.

Should the regulations contained herein differ from the regulations of the City of Fullerton Zoning Ordinance, the regulations of the Specific Plan shall prevail.

B. Severability

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or



applications thereof which can be implemented without the invalid provision or application.

C. Interpretation

Any ambiguities related to the implementation of the provisions of this Specific Plan shall be resolved by the City of Fullerton's Director of Community Development. Such interpretations shall take into account the stated goals and intent of the Specific Plan. Any interpretation made by the Director of Community Development may be appealed to the Planning Commission. The decision of the Planning Commission shall be final unless appealed to the City Council.

D. Definitions

Unless otherwise specified herein, terms used in this document shall have the same definitions provided in Title 15 City of Fullerton Municipal Code.

E. Technology/Energy Efficiency

The builder is urged to incorporate energy efficient building techniques to reduce long-term costs in addition to complying with local ordinances relating to energy efficiency.

6.3 Land Use/Establishment of Zoning Subdistricts

Land uses within The *Jefferson Commons* Specific Plan shall be permitted in accordance with the uses described in *Subsection 6.3 A and B; Permitted and Conditionally Permitted Uses*, and the standards identified within this chapter.

A. Permitted Uses

^{^(by right)}
The Permitted Uses shall be based on those identified as permissible in the C-2 (General Commercial) zoning classification, subject to the Fullerton Municipal Code Section 15.30, unless identified in this Specific Plan as Conditionally Permitted.



B. Minor Site Plan

The following uses shall be permitted within the Specific Plan with approval of a Minor Site Plan pursuant to Chapter 15.47 of the Fullerton Municipal Code:

- Commercial telecommunication facilities
- Trade School

C. Conditionally Permitted Uses

The following uses are conditionally permitted within the Specific Plan with approval of a Conditional Use Permit pursuant to Fullerton Municipal Code Section 15.70.:

- Student-oriented housing
- Restaurants as defined in Chapter 15.04 of the Fullerton Municipal Code that serve alcohol but is not considered a bar, as defined by the Fullerton Municipal Code

D. Prohibited Uses

All uses that are not otherwise defined in this section shall be prohibited from this Specific Plan.

E. Temporary Uses

Temporary onsite building(s), structures, trailers, etc. during project construction and for the purpose of project grand opening and preliminary rentals are permitted. Any temporary uses within the Specific Plan area shall be subject to the Fullerton Municipal Code Section 15.56.090.

6.4 Development Standards

The *Jefferson Commons* Specific Plan allows for a commercial retail, office and residential uses within the Specific Plan District (SPD). As such, the following regulations stand in contrast to traditional zoning that separates residential, commercial, and office uses into distinct areas or zones.



A. General Site Development Standards

- All lighting shall be designed and located so as to confine direct rays to the premises.
- Trash receptacles shall be properly maintained and screened from view of public right of ways.

B. Density

Project density within the Specific Plan District is determined by dividing the residential units (350 residential units) by the gross site acreage (6.8 gross acres).

$$350 \div 6.8 = 51.5 \text{ du/acre} = \text{density.}$$

C. Permitted Buildings Heights

The maximum building height within the Specific Plan District shall not exceed six (6) stories or 74 feet from natural grade,

whichever is greater. Screening for rooftop mechanical equipment shall not extend beyond this limit.

Building height at any given point shall be measured from the natural grade. Exceptions to this requirement may be permitted subject to Director of Community Development approval.

D. Floor Area Ratio/Lot Coverage

The Floor Area Ratio for the overall *Jefferson Commons* Specific Plan shall not exceed 2.00. Floor Area Ratio is defined as building area divided by gross site area. Any increase in floor area ratio above 2.00 shall require a Specific Plan Amendment.

The Lot Coverage for the overall *Jefferson Commons* Specific Plan shall not exceed 75%. Lot coverage is defined as building footprint including garage area and driveways. Any increase above 75% shall require a Specific Plan Amendment.



TABLE 4 – Allowable Lot Coverage/Floor Area Ratio Requirements

FAR (Building area ÷ Gross Site Area)	Not to exceed 2.00
Lot Coverage (Building footprint including garage area and driveways ÷ Gross Site)	Not to exceed 75%

The upper floors may cantilever into the setback for variation of façade up to a setback of 7 feet.

6.5 Landscaping and Open Space Requirements

E. Building Setbacks

Ground level building setbacks shall comply with the following standards:

TABLE 5 – Building Setbacks

Setbacks	Minimum Distance
Chapman Avenue (retail portion)	10 feet (measured behind 8-foot public sidewalk)
Chapman Avenue (residential portion)	10 feet (measured behind 8-foot public sidewalk)
Commonwealth Avenue	10 feet (measured behind 8-foot public sidewalk)
East College Place	13 feet (measured behind 8-foot public sidewalk)
Interior property line (west)	10 feet

A. General

- With exception to modifications identified within this chapter, all landscaping and irrigation systems and plans shall conform to applicable sections Title 15 of the Fullerton Municipal Code.
- All landscape drawings and plans shall be prepared by a California licensed landscape architect. Installation of plantings and hardscape materials within the Project shall be overseen by a licensed landscape architect.



B. Walls and Fences

Fencing shall require review and approval by the Director of Community Development.

- View obscuring fencing shall not be placed on street frontages.
- Landscape walls on street frontages shall not exceed three feet in height and shall be of a material that is compatible with the building's architecture.
- Interior property line walls and fences shall not be installed in street setback areas and shall not exceed 8 feet in height. Walls and fences shall be constructed of a material that is compatible with the building's architecture.

C. Open Space

Usable Outdoor Open Space

For purposes of calculating usable open space, the common recreational areas are used to determine outdoor open space. The private balcony areas within each apartment unit are excluded. The minimum allowable outdoor open space area is 19% based on gross site area.

6.6 Parking, Access and Circulation

A. Required Parking

- Permanently maintained, off-street parking spaces will be provided for the residential and retail uses.
- The residential parking spaces shall be reserved and separate from any retail parking spaces.
- Emergency vehicle access drives or fire lanes shall be marked "no parking."



- RED?
- As indicated in the parking study, the parking standard for a student apartment complex is between 73% and 82%. A minimum of 1.0 space per unit residential parking spaces shall be provided.
 - In accordance with Fullerton Municipal Code, retail spaces shall be provided at 1 space per 250 square feet of gross floor area.
 - Handicapped parking spaces shall be provided and located as close to the building entrances as feasible, in accordance with Building Code requirements.
 - The minimum standard parking stall dimensions shall be eight and a half (8.5) feet wide by (18) eighteen feet in length with an additional six (6) inches added to each space adjacent to a wall within the parking garage.

B. Vision Clearance Requirements

Vision clearance areas, as defined by Title 15 of the Fullerton Municipal Code, will be maintained.

- Building walls, fences, or landscaping in any driveway vision clearance area or line of sight area as defined in a Traffic Study shall not exceed three feet in height or limit established by a traffic study, if more restrictive.

6.7 Sign Standards and Regulations

A. Definitions

The signage definitions described in Section 15.49.015, Definitions, in the Fullerton Municipal Code shall apply.



B. Sign Design Standards

Sign standards will be governed by the Jefferson Commons Sign Program to be submitted to the City for review and approval prior to issuance of a building permit.

Any illumination of monument and directional sign(s) shall comply with City of Fullerton standards for nighttime illumination.

be the signs permitted by the specific plan. All other signs shall not be permitted unless an amended sign program is approved by the City. Signs prohibited by the Fullerton Municipal Code shall also be prohibited within the Specific Plan area.

C. Lighting Design Standards

All exterior lighting shall comply with City of Fullerton standards for nighttime illumination. Exceptions to the City's lighting standards and requirements may be permitted subject to the approval by the Director of Engineering.

D. Prohibited Signs

All signs included in the Jefferson Commons Sign Program as approved by the City shall



JEFFERSON COMMONS
FULLERTON ACADEMIC VILLAGE



7.0 Implementation and Administration



7.0 Implementation and Administration

7.1 General Plan/ General Plan Amendments

The purpose of a General Plan is to express, in general terms, the City's thoughtful planning of its future environment. However, the General Plan does not address specific parcels of land in a detailed manner, but rather functions only as a general blueprint for future development within the City. The General Plan is adopted by the City as a legislative act and may thereafter be amended as required by changing trends.

Responsible development of the *Jefferson Commons* Specific Plan property in the City of Fullerton will be ensured through the adoption of a planning mechanism that reflects thorough and comprehensive land use planning. What a Specific Plan is and how it functions is best described by a comparison to the General Plan.

The Specific Plan differs from the General Plan in that it is a device used to refine and implement the goals and objectives outlined in the General Plan by focusing on a particular parcel or parcels of land. Detailed analysis of the planning considerations for each parcel is then made with regulations and controls being adopted for future development of these parcels. The Specific Plan is similar to the General Plan as it is adopted and amended by City legislative actions and, when so adopted, controls all development with the affected area.

A General Plan Amendment is necessary for the *Jefferson Commons* Specific Plan. As previously described, the land use designations of the site will be changed from HDR (High Density Residential and O-P (Office Professional) to the HDR (High Density Residential) land use designation and the subsequent specific plan be written to reflect land uses more consistent with mixed-use development. Such designations call for a combination of retail-commercial, office and residential uses, similar to the proposal herein.

The authority for General Plan Amendments is found in the State of California's Planning and Zoning Law Government Code Section 65358 as well as in the City's General Plan.



7.2 Zoning Code/Zoning Changes and Map Amendments

Zoning is found in the City of Fullerton Municipal Code (FMC). Specifically, Chapter 15.21, of the Fullerton Zoning Ordinance outlines the Specific Plan District (SPD) Zone. The intent and purpose of the Specific Plan District zone is to:

“...provide for the orderly systemic, detailed and enhanced implementation of particular areas of the General Plan where a variety or combinations of land uses are being proposed over a substantial amount of land. The Specific Plan District (SPD) zone provides for the establishment of physical development standards and regulation for land uses that may be unique to the particular area where a Specific Plan is being adopted. The preparation, review and adoption of a Specific Plan within a Specific Plan District (SPD) zone shall be in accordance with California Government Code Sections 65450 through 65457, incorporated herein by reference as if fully set forth in this chapter.”

Application, initiation of amendment, adoption and approval of land uses of the SPD zone are further articulated in Section 15.21.020 of the Chapter.

As previously described, in order to effectuate the *Jefferson Commons* Specific Plan, a Zone Change is required to modify the existing zoning and to apply the Specific Plan District to the site. The Fullerton Zoning Map will reflect the SPD classification to the site.

Should the zoning of the site change for any reason in the future, review of the *Jefferson Commons* Specific Plan (Specific Plan District zoning classification) would determine if any newly proposed project would be compatible and consistent with the approved Plan. If not, a Zone Change would be necessary.

7.3 Administration and Enforcement

This Specific Plan serves a number of functions, from assisting the City during the implementation phase to guiding the builder through the City's processing.

The City's Director of Community Development shall be responsible for administering the provisions of the *Jefferson Commons* Specific Plan



in accordance with the provisions of the Specific Plan, the State of California Government Code, Subdivision Map Act, and the City of Fullerton General Plan, Zoning Ordinance, and Municipal Code.

The Director of Community Development shall enforce the provision of this Specific Plan and all the applicable codes of all governmental agencies and jurisdictions in such matters including, but not limited, to, building, mechanical, fire and electrical codes, and codes pertaining to drainage, waste water, public utilities, subdivisions, and grading.

The Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

7.4 Development Review Procedures

Major Development Project Review

Site and architecture design review, in the form of a Major Development Project Review as defined by Chapter 15.46 of the Municipal Code, shall be required as a separate but

concurrent process with the review and approval of the Specific Plan. Major Development Project review will consist of review of the site plan, architecture, and conceptual landscape design by the Redevelopment Design Review Committee prior review of the project by Planning Commission and City Council.

Conditional Use Permit

A Conditional Use Permit (CUP) as defined by Chapter 15.70 of the Fullerton Municipal Code shall be required as a separate but concurrent process with the review and approval of the Specific Plan. The Conditional Use permit is required for the project to assure that the degree of compatibility shall be maintained with respect to the particular use on the particular site and that consideration is made with respect to other existing and potential uses within the general area. Additionally, the CUP recognizes and compensates for variations and degree of technological advancements in processes and equipment as related to the factors of noise, smoke, dust, fumes, vibration, odors and hazards, for



example (FMC Section 15.70.010 C). Typically, certain conditions are applied to the use to regulate the operation.

The Planning Commission will review the Conditional Use Permit relative to the tenets of the Specific Plan. As such, conditions specified under CUP approval will run with the land in perpetuity, unless the CUP is not used or is found to be voluntarily abandoned for a six-month period. Conditional Use Permits are revocable under local ordinances.

7.5 Specific Plan Amendment Procedures

The *Jefferson Commons* Specific Plan may be amended using the same process by which it was approved. Any proposed modifications to the plan that would substantially alter the intent of the plan will be considered amendments to be processed pursuant to Government Code Section 65453.

A. Minor Amendments

Minor amendments include simple modifications to text or graphics that are neither contrary to, nor change the meaning or intent of any provision of the Specific Plan. Minor Amendments may include:

- Changes in the location of infrastructure and public facilities (such as roads, drainage facilities, etc.).
- Minor changes in roadway/driveway alignment.
- Adjustment of lot boundaries.
- Change of landscaping materials and/or locations, modification to project amenities, entry design, and streetscape design which are consistent with the design set forth in the Specific Plan Design Guidelines.
- Modification to the unit mix provided that the change does not exceed the environmental impacts identified within the EIR No. SCH NO. 2007031073.



- Minor changes to the *Design Guidelines* set forth in Chapter 5.0, which are intended to be flexible in nature.
- Modification of any design element in this Specific Plan that improves circulation, improves drainage or improves infrastructure.
- Other minor modifications similar to those listed above and deemed minor by the Director of Community Development, which are in keeping with the intent of the Specific Plan.

Minor amendments may be accomplished administratively by the Director of Community Development and can be appealed to the Planning Commission and City Council.

B. Major Modifications

Major modifications are amendments to exhibits or text that are intended to change development standards or other fundamental provisions of the Specific Plan. Major

modifications require a Specific Plan Amendment and approval by the Planning Commission and City Council.

7.6 Project Construction Schedule/Phasing

Jefferson Commons will be constructed in one (1) phase over a 24-month period. Any project specific construction phasing will occur as appropriate levels of infrastructure and any required improvements are provided. The construction schedule is subject to change over time to respond to the various factors. Individual construction operations as described below may overlap or be developed concurrently.

- Demolition of the existing office and apartment buildings;
- Installation of construction driveways and access points;
- Construction of all drainage improvements;



- Construction of the parking structure;
- Backbone infrastructure will be installed to service the project as it builds out;
- Construction of the *Jefferson Commons* mixed-use building;
- Construction of perimeter wall and /or fencing; and
- Installation of site improvements such as pedestrian walkways, tree wells, outdoor seating areas and interior landscaping and courtyards.

TABLE 6 - Financing and Maintenance

Improvement	Financing	Long Term Maintenance
Water System	Developer	City of Fullerton
Sewer System	Developer	City of Fullerton
Storm Drain System	Developer	City of Fullerton
Public Street Improvements	Developer	City of Fullerton
Private Drives	Developer	Property Owner/Association
Landscaping Public Right-of-Way Site interior	Developer	City of Fullerton/ Property Owner/Association

7.7 Financing and Maintenance of Improvements

Table 6, **Financing and Maintenance**, below outlines the anticipated financing and maintenance of improvements within the project area.

7.8 Specific Plan EIR SCH NO. 2007031073 and Corresponding Mitigation Monitoring Plan

As previously mentioned, the *Jefferson Commons* Specific Plan has been prepared in compliance with the requirements of the California Environmental Quality Act (CEQA). Pursuant to State and Local CEQA Guidelines, the City of Fullerton prepared an Initial Study/Environmental Checklist. The City determined that the Specific Plan could result in



additional environmental impacts, and therefore, required environmental analysis. As a supplement to this Specific Plan, an Environmental Impact Report has been prepared to respond to the potential impacts as indicated in the Initial Study.

provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

The *Jefferson Commons* Specific Plan Environmental Impact Report includes an introduction, project description, description of existing environmental conditions, assessment of impacts and mitigation measures as directed by the City of Fullerton, in accordance with CEQA. A mitigation monitoring program has also been prepared to comply with Public Resources Code Section 21081.6, for adoption by the City when they consider approval of the project.

7.9 Severability

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining



Appendix



A-1. GENERAL PLAN CONSISTENCY

California Government Code Section 6540-6553 allows for the adoption and administration of Specific Plans as an implementation for elements contained in a jurisdiction's General Plan. State law requires that Specific Plans must demonstrate consistency with goals, objectives, policies and programs of a jurisdiction's General Plan. To ensure the *Jefferson Commons* Specific Plan is consistent with the City of Fullerton General Plan, a thorough review was undertaken. The following is an analysis of applicable General Plan goals and policies and provides discussion relative to the implementation of the *Jefferson Commons* Specific Plan.

This section analyzes the goals and policies of the City's General Plan that are most relevant to the *Jefferson Commons* Specific Plan. Goals and policies in the General Plan that are not applicable to the Specific Plan are not included. Below each of the identified policy statements, a brief discussion of General Plan consistency is provided.

A. The Land Use Element

The existing General Plan land use designations for the project area are High Density Residential and Office Professional while the surrounding land uses vary. To accommodate the Jefferson Commons Specific Plan, a General Plan Amendment and Zone Change will occur to ensure that the proposed range of uses in the Jefferson Commons project will be consistent with the new High Density Residential (HDR) land use designation and Specific Plan District (SPD) zoning classification.

Goal LU-1: *Land use decisions which are based on careful consideration of public health and safety, community concerns, existing and future envisioned City character, sound economic and resource conservation planning and public input.*

The Jefferson Commons Specific Plan affords additional opportunities to serve the City's student population through services to assist in providing a healthy, safe environment. The development of the project considers



prevailing residential character surrounding the site.

An extensive public outreach program was an integral part of the development of the Specific Plan and provided opportunities for adjacent residents and businesses, elected officials and other stakeholders to provide input into the development of the programming and design of the project site.

Policy LU-1.1: *Provide and implement clear, documented procedures, which result in desired land use decisions, incentives, and regulations.*

The development of the Specific Plan, as prescribed by State law, includes the following Chapters:

- Development Plan
- Design Guidelines
- Land Use and Development Regulations
- Implementation

Each of these Chapters provides for clearly articulated land use policy that will ensure

that future development of the project site is consistent with the goals and policies of the General Plan sound policy.

Policy LU-1.2: *Encourage neighborhood and community involvement in the land use decision-making process.*

Chapter 3.0, *Planning Framework*, of the Specific Plan illustrates the extensive level of community participation that was an integral component of the land-use decision making process. To encourage community involvement, a series of public meetings and community outreach activities were conducted. Public workshops, community meetings, stakeholder and informal meetings occurred during 2006 and 2007. Local citizen groups, neighborhood groups and associations, local businesses, the Fullerton Chamber of Commerce and other stakeholders have been consulted and contacted regarding the Jefferson Commons project. These outreach activities provided opportunities to educate and solicit community and stakeholder input.



Goal LU-2: *Compatible and balanced land uses which are well maintained or revitalized, provide pleasant environments, and adequately serve present and future populations.*

The land uses provided in the Specific Plan provide student-oriented housing and neighborhood retail compatible with the Education District. Therefore, Jefferson Commons is similar to and compatible with, those uses surrounding and in close proximity to the site. The incorporation of publicly-accessible sidewalks and streetscape amenities will beautify and enhance the existing environment.

Policy LU-2.1: *Plan for a balanced development pattern that includes diversity in employment opportunities, goods and services, residential choices, and open spaces.*

The uses outlined in the Jefferson Commons Specific Plan provide for employment opportunities in a variety of professional fields. The Specific Plan also provides additional student-oriented housing

opportunities that support the growing student population.

Policy LU-2.3: *Encourage the provision of public open space and recreational areas in residential neighborhoods.*

The design of the Specific Plan provides private and common open space amenities such as a fitness room, swimming pool, study courts and passive recreational gathering spaces.

The project site also includes setbacks along the project frontage to provide adequate open space opportunities.

Goal LU-4: *Orderly growth and development based on the City's ability to provide adequate transportation and infrastructure facilities.*

The development of the Specific Plan includes the necessary infrastructure improvements to serve the project site in conjunction with the City's existing infrastructure system. All potential infrastructure impacts have been evaluated and the appropriate improvements



to mitigate these impacts are an integral component of the Specific Plan. Chapter 4.0, *Development Plan*, of the Specific Plan provides detailed descriptions of the necessary transportation and infrastructure improvements.

Policy LU-4.1: *Accommodate population growth to the extent that the community's health, safety, and welfare are maintained, as compatible with the City's character and stated General Plan objective.*

The Specific Plan provides for additional student-oriented housing opportunities for the City's student population. The project provides for ~~363~~ 350 student apartments in close proximity to five (5) higher education schools and universities.

B. Circulation Element

Goal C-1: *A comprehensive street and parking automobile transportation network, which supports the movement of people and goods in*

a safe and efficient manner using a variety of modes.

The Specific Plan project site is located at the northwest corner of Chapman Avenue and Commonwealth Avenue. Both Chapman and Commonwealth avenues are designated as major arterials in the General Plan and both provide for efficient circulation through the project area. The Specific Plan's parking facilities, ingress/egress, public sidewalks and bicycle facilities supports the safe and efficient movement of people within and adjacent to the project site.

Policy C-1.1: *Provide and maintain a network of arterial highways and streets to direct and channel non-local and large vehicle traffic as well as to accommodate the internal circulation needs of Fullerton's businesses and residents.*

Policy C-1.4: *Plan and manage public rights-of-way and median islands to provide attractive streetscapes.*

The Jefferson Commons Specific Plan provides for the development of an attractive



streetscape through the incorporation of a public sidewalks, parkways and building setbacks. The design of publicly-accessible improvements seeks to provide improved amenities for use by the community and to highlight the entrance to the “Education District”.

Goal C-2: *A comprehensive network of bicycle, hiking, and bridle trails, which safely and conveniently serve the recreation and commuter transportation needs of the community.*

This Specific Plan project area is in close proximity to multiple public transit lines and will provide bicycle storage facilities on-site for restaurants, employees and retail customers. Additionally, an enhanced 8-foot minimum public sidewalk will be installed along with landscaped parkways, street trees and street furniture in anticipation of the future Education District plan.

Policy C-2.3: *Insure the provision and maintenance of public sidewalks and walkways where desired in order to facilitate pedestrian mobility and safety.*

The Specific Plan circulation plan provides for pedestrian walkways surrounding the building and a public sidewalk along the building frontages of Chapman and Commonwealth avenues and East College Place. The installation of internal walkways that connect with the public sidewalk will further enhance pedestrian mobility and safety.

Goal C-3: *A public transportation system which serves the needs of the community, is accessible to all, and is a viable alternative to the single occupant vehicle.*

The Specific Plan’s project area is served by multiple OCTA transit lines adjacent to Chapman and Commonwealth Avenues, and State College Boulevard. The development of public sidewalks and provision for bicycle storage provides further alternatives to vehicular travel.



Goal C-5: *A roadway network which supports existing and future land uses with minimal levels of traffic congestion.*

Development of the project can be accommodated by the existing road segments for Chapman and Commonwealth Avenues. The project will be required to pay its pro-rata share towards future improvements to the southbound SR-57 on-ramp.

C. Housing Element

Goal H-1: *A housing stock of sufficient quantity composed of a variety and range of housing types and costs that enable those citizens who work in Fullerton the opportunity to live here if they choose.*

The 350 student-oriented housing units proposed as part of the Specific Plan will accommodate up to 1189 students and will add to the City's student housing stock. The development will expand the range of housing choices for the City's student population.

Policy H-1.1: *Encourage the development of a variety of housing types and costs, for both owners and renters, whereby the widest economic range of housing choice is available.*

The Jefferson Commons Specific Plan will expand the variety of housing types and costs available to students attending Cal State Fullerton and other surrounding colleges.

The 350 units provided by the Specific Plan include floor plans ranging from approximately 498 to 1194 square feet in size, and provide an ideal environment for the student population.

Goal H-3: *Housing throughout the City, suitable and conveniently located for households having special needs, such as the elderly, students, the homeless and those of Very Low and Low Income.*

As mentioned above, the Jefferson Commons Specific Plan will expand the variety of housing types and costs available to students. The development will also include



neighborhood serving retail and is also conveniently located to nearby services as well as to nearby neighboring residential uses.

the project site. The appropriate mitigation measure(s), through site design treatments, have been identified to mitigate potential noise impacts to a less than significant level.

D. Community Health & Safety Element

Goal CHS-1: *Efficient, well-equipped and responsive fire and police departments, which offer maximum feasible personal safety and protection from loss of life and property.*

The City of Fullerton Fire Department currently provides fire and paramedic services and City of Fullerton Police department provides police protection to the Jefferson Commons project.

Policy CHS-1.3: *Encourage physical planning techniques which will help prevent accidents, crimes, and fires.*

Goal CHS-4: *A community with maximum feasible protection from noise.*

As part of the Environmental Impact Report (EIR), a noise study has been conducted for

Goal CHS-5: *A community with maximum feasible protection from seismic hazards.*

The EIR prepared for the Specific Plan addresses the potential exposure to seismic hazards and potential geotechnical hazards. The EIR and associated geotechnical investigation have been identified appropriate mitigation through design and construction practices.

Policy CHS-5.2: *Take reasonable measures to protect the public from earthquakes through building and planning activities.*

Goal CHS-6: *Properly designed and maintained water, utility, flood control, and sanitary sewer systems to meet the needs of present residents, accommodate future growth, protect the environment and afford proper health and safety protection.*



Chapter 4.0, *Development Plan*, of the Jefferson Commons Specific Plan identified necessary public improvements to water, stormdrain and sewer facilities. The infrastructure improvements identified the Development Plan and will be designed in accordance with the City of Fullerton standards.

E. Resource Management Element

Goal RM-2: *A combination of public and private open space and parkland conveniently located and designed to be responsive to resident's needs.*

The Jefferson Commons Specific Plan provides for additional open space and recreational amenities for students residing within the project. These amenities include two recreation centers, a swimming pool, passive study courts and landscaped setbacks.

Policy RM-2.1: *Promote the creation of public and private open spaces throughout the community.*

The Jefferson Commons Specific Plan provides for on-site recreation rooms, landscaped study courts and a swimming pool. Additionally, the units will include private balconies and a large public walkway and outdoor seating areas to encourage public gathering.